



City of Lowell
Development Code
Amendments Draft #1
Update July, 2022



Downtown Master Plan

Overview

Development Code Update Project

Lowell Code Amendments

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Development Code Update Project



Welcome to the project page for the City of Lowell's Development Code Update Project. The project is to amend the development code in order to implement the Downtown Master Plan. The goals of the project are to increase walkability, encourage housing diversity, encourage downtown development and improve connectivity to parks, schools and other community assets. We will post all relevant information about the project on this page to keep the public informed and engaged. Please visit the website periodically for the latest information. You can also receive updates by subscribing to our email list at <https://www.ci.lowell.or.us/subscribe>.

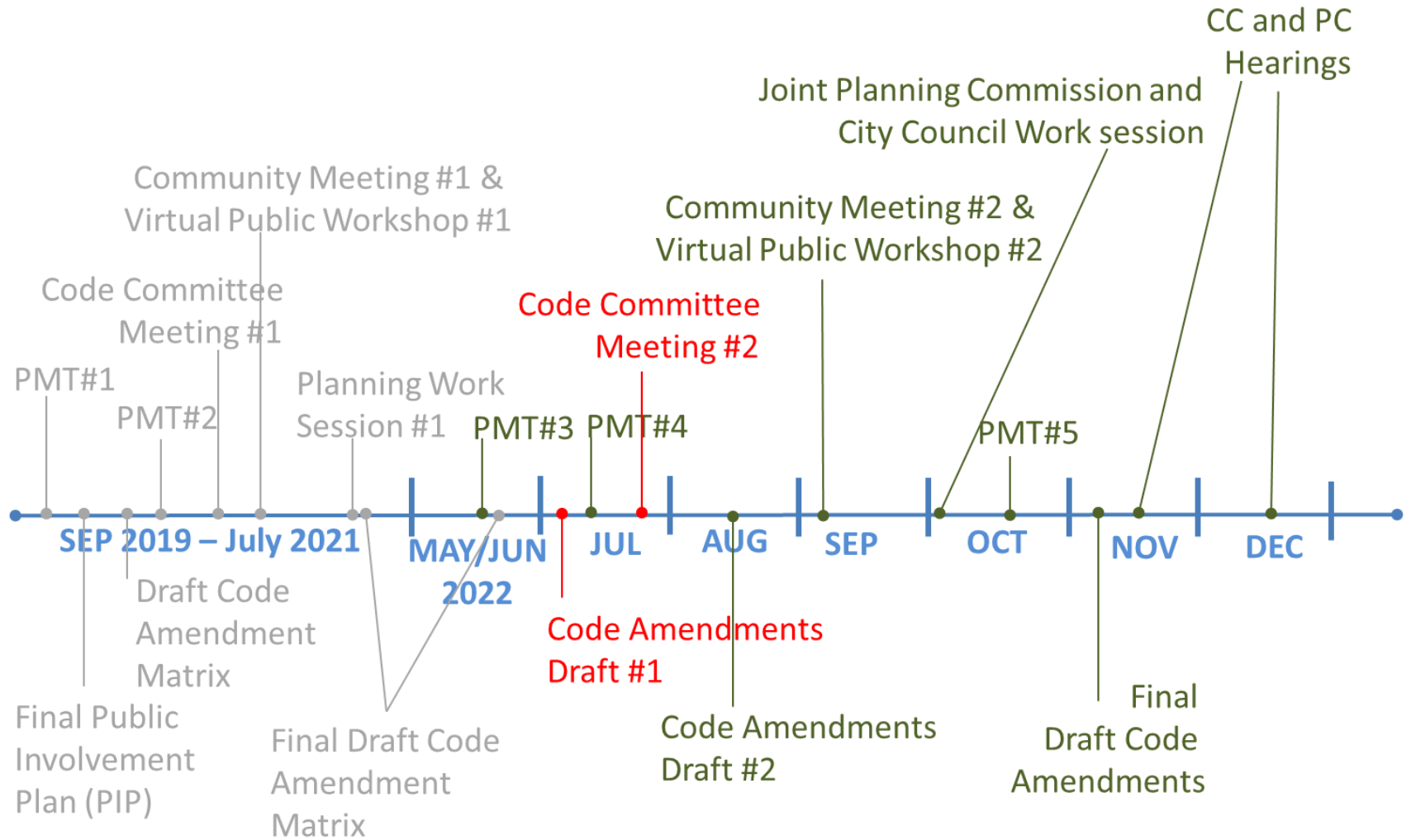
Supporting Documents

-  [Adopted Downtown Master Plan](#) (43 MB)
-  [TGM Intergovernmental Agreement](#) (282 KB)
-  [Walking Tour Notes](#) (30 KB)
-  [Site Visit Route](#) (549 KB)
-  [Public Involvement Plan](#) (40 KB)
-  [TGM Schedule](#) (205 KB)

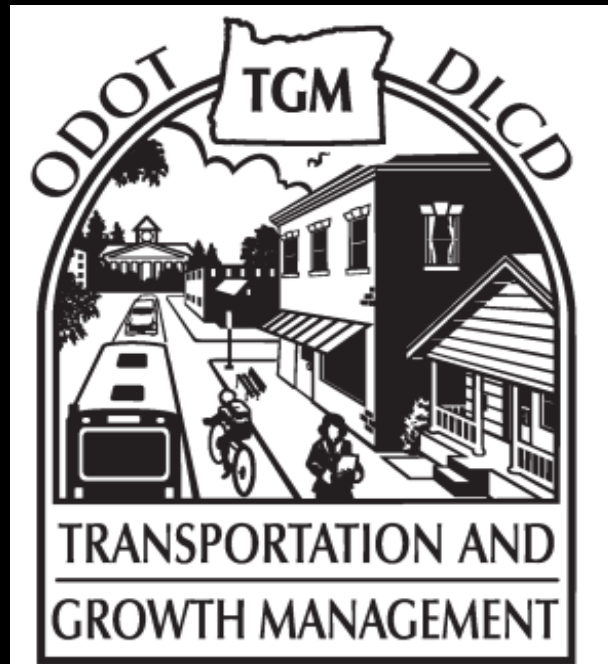
Project Management Team (PMT):

- **Jeremy Caudle**- Lowell City Administrator
- **Laura Buhl**- TGM Code Assistance (ODOT/DLCD)
- **Lane Council of Governments**
 - *Jacob Callister*
 - *Henry Hearley*
 - *Deanna Wright*
 - *Urban Design Consultant*

● Completed – Phase 1 ● Present Focus ● Forthcoming



Transportation and Growth Management (TGM)



*Create thriving, livable places with
diverse transportation choices*

TGM OBJECTIVES:

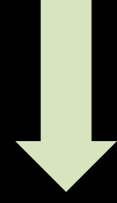
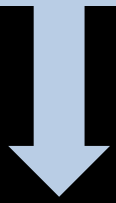
- **Promote a transportation system and development pattern that results in a balanced, multi-modal system that enhances opportunities for people to walk, bike, and use transit;**
- **Increase the convenience or availability of alternative modes of transportation;**
- **Provide alternatives to, or delay the need for, major transportation improvements;**
- **Provide alternatives to, or delay the need for, expansion of an urban growth boundary**

Lowell
Comprehensive Plan

Lowell
Downtown
Master Plan

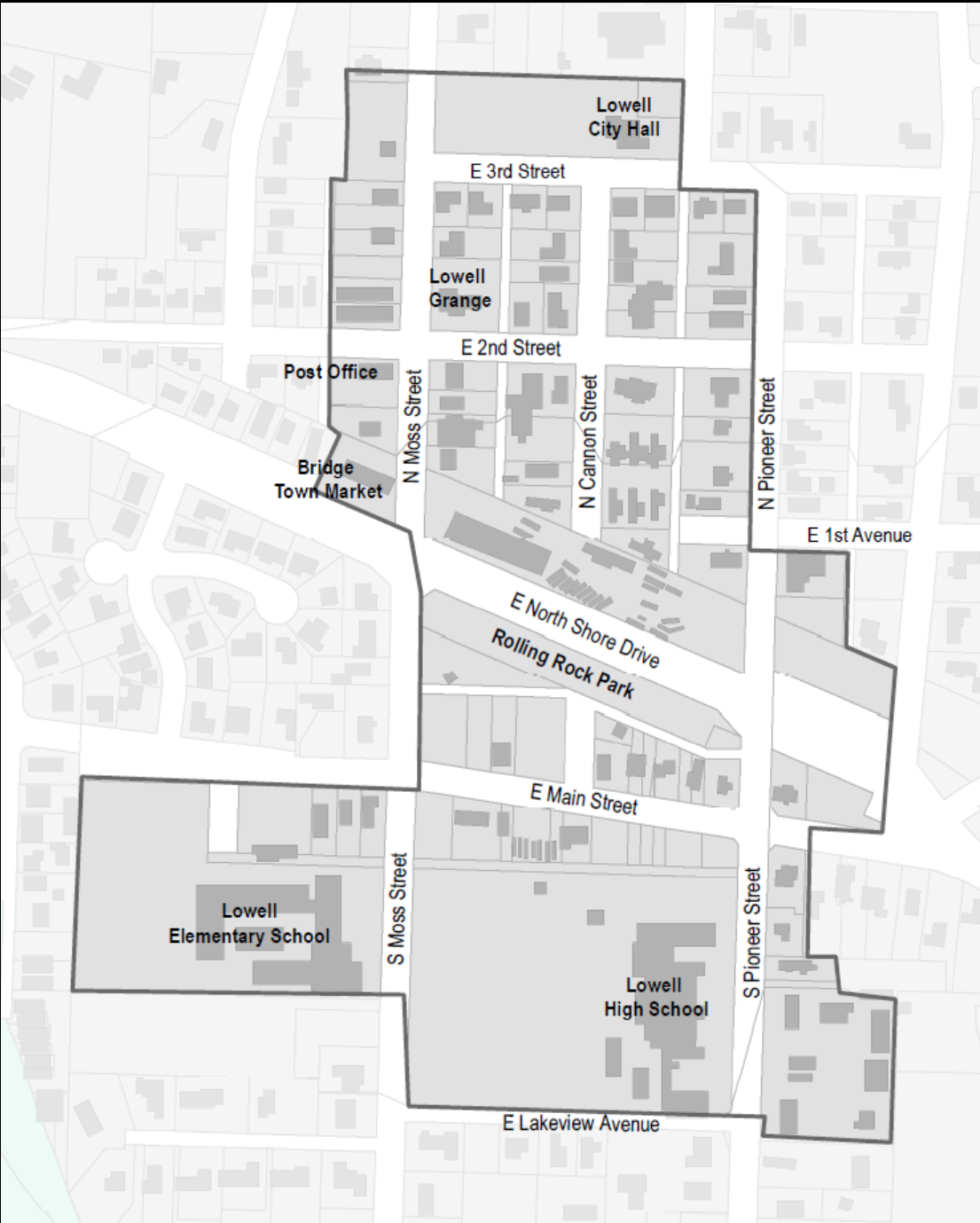
Broader
TGM,
Housing,
Streamlining

*Administrative,
Housekeeping,
Clarity*

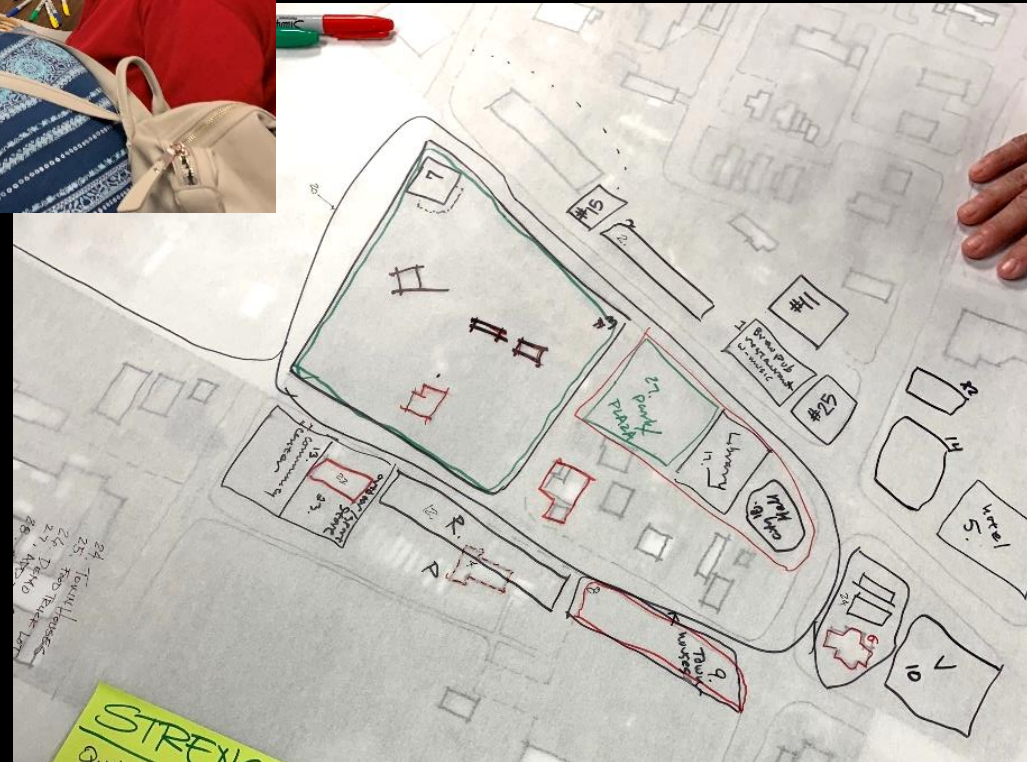
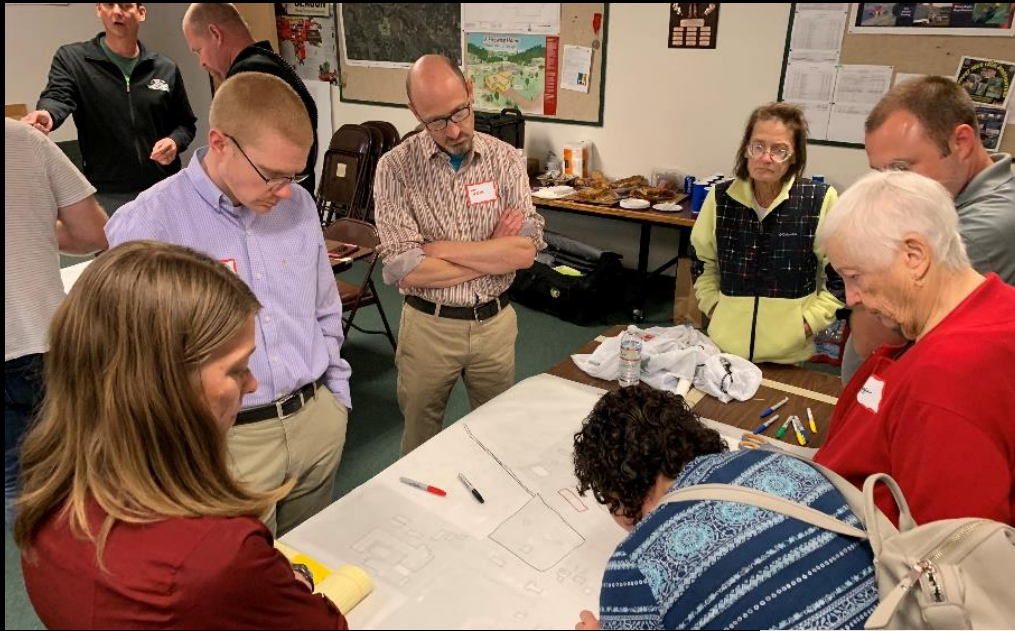


Code Amendments

Downtown Master Plan Study Area



Downtown Design Workshop



1

GOAL: QUAIN T DOWNTOWN

Downtown Lowell will be defined by gateways, have its City Hall at the center, and streets will be walkable with slow traffic.

2

GOAL: CENTRAL PARK

A central park will be at the heart of downtown and provide a tree-lined, comfortable place for pedestrians.

3

GOAL: MULTI-STORY, MIXED-USE BUILDINGS

Buildings in the downtown area will be a mix of commercial and residential uses with a diversity of businesses.

4

GOAL: VARIETY OF HOMES

Homes in downtown will be a mix of sizes and be available to a wide range of income levels.

5

GOAL: CONNECTED, WIDE SIDEWALKS

Downtown Lowell will incorporate an interconnected system of sidewalks and multi-modal pathways to better connect greenspaces and amenities such as Dexter Lake.

LEGEND

- Downtown District
- Build To Line (RBL)
- Required Pedestrian Entry Zone
- Parking Zone
- 1/3** Min/Max Stories
- Downtown Flex 1
(Commercial, Mixed-Use, Residential)
- Downtown Flex 2
(Commercial, Mixed-Use, Required Residential)
- Downtown Residential Attached
- Downtown Residential Detached
- Civic / Public
- Greenspace / Parks

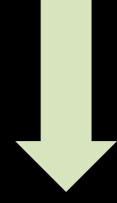
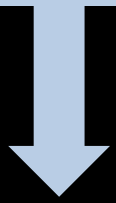


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Code Amendments

Discussion

Form Based Standards in Downtown

Downtown Regulating Plan establishes several new downtown zones and provides specific building types and layouts allowed in each to create a desired aesthetic (look and feel).

Question #1: A focus on form vs use would enable a wider range of residential uses in the Regulating Plan's Downtown Zones. If proposed residential development meets the proposed building standards (form standards), it could include multiple units. As written, it could also include commercial uses as "secondary" uses (a residential use would have to accompany as the "primary" use). There are ways to fashion the code to be more restrictive about this, but it is counter to form-based code principles aimed at simplifying development, focusing on "look and feel." Code Committee perspectives about this?

Transition to Application “Types” Type I-V

Question/Discussion #2: Does the City of Lowell prefer Subdivisions and Replats to go through a Type V or IV (City Council and Planning Commission), or Type III (Planning Commission) hearing process? Currently, Subdivisions are processed through a Type IV land-use process which could be burdensome and costly for developers.

Question/Discussion #3: Will a Site Review Type III permit (Planning Commission) review be necessary for new development, structures, and uses in the Downtown Master Plan new zoning classifications (DF1, DF2, DRD, & DRA) Regulating Plan?

Transition to Application “Types” Type I-V

Question/Discussion #4: Should multi-family dwelling developments be subject to Type III Site Plan Review, when the same level of review is not required of single-family dwelling?

- **Off-street Parking.** Pgs. 102-103. The Off-street parking standards are largely the same but are in the form of a table that is easier to read and understand.
- **Access.**
- **Cottage Clusters.**
 - Cottage cluster housing developments are being proposed to be permitted as outright permitted uses in the R-1 and R-3 Zones.
- **Flood Hazards.**
- **Accessory Dwelling Units (ADU).** Section 9.707 is a proposed new code section pertaining to the allowance of ADUs and new state law (House Bill 2001) Pg. 159.
- **House Bill 4064** regarding Manufactured Dwelling/Prefabricated structures at link: [HB4064 2022 Regular Session - Oregon Legislative Information System \(oregonlegislature.gov\)](https://legislature.oregon.gov/2022/Bills/400-499/HB4064.aspx). Section 9.710

Next Steps

Code Amendments Draft #1

Code Committee Meeting #2

Code Amendments Draft #2

Community Meeting #2 &
Virtual Public Workshop #2

Joint Planning Commission and
City Council Work session

Final Draft Code Amendments

CC and PC Hearings



JUL

AUG

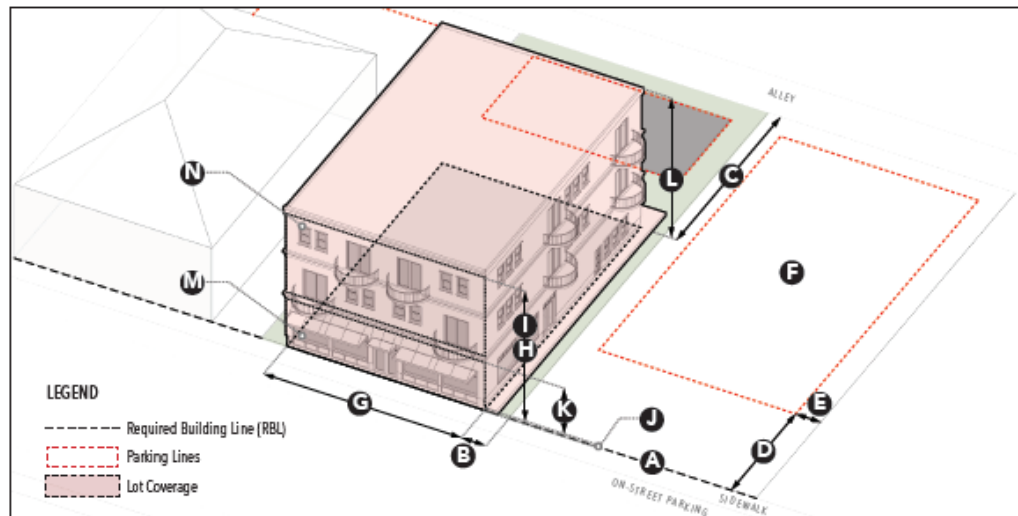
SEP

OCT

NOV

DEC

9.423 DOWNTOWN FLEX 1 BUILDING STANDARDS

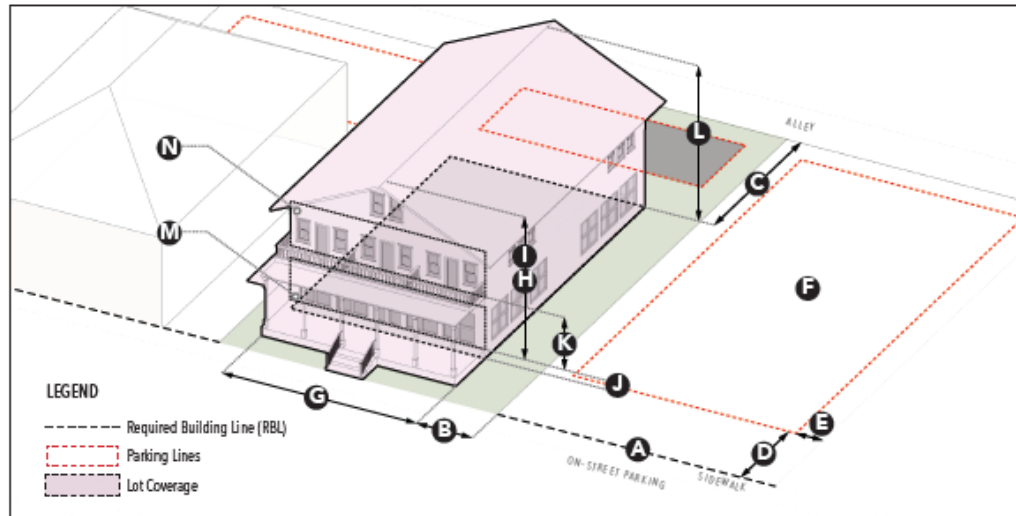


Use	
Ground floor:	commercial (retail, service, office, trade)
Upper floor(s):	commercial (retail, service, office, trade), residential
Placement	
Front required building line (RBL)	0 ft; the front-most part of the building (i.e. wall, front porch) must be built to the RBL A
Side setback	0 ft min.; 10 ft min. when abutting residential zone B
Rear setback	0 ft min.; 10 ft min. when abutting residential zone C
Parking setback from RBL	30 ft min. D
Parking setback from parcel lines with no RBL	6 ft min.; 20 ft min. when abutting residential zone E
Coverage	
Lot area	no min.; see Notes for prerequisites F
Lot coverage	100% max.; see Notes for prerequisites
Primary street facade built to RBL	90% min. of RBL length G
Height	
Minimum number of floors	2 floors H
Maximum number of floors	3 floors I
Ground floor elevation	0 in min. above sidewalk; see Notes for residential use J
Floor to floor height	10 ft min. K
Building height	no max.; see Notes when abutting residential zone L
Facade Transparency	
Ground floor	75% of facade area min. M
Upper floors	40% of facade area min. N
Parking	
Number of space	see Section 9.514 Off-Street Parking Requirements

Notes

- Uses that create odor, dust, smoke, noise, or vibration that is perceptible beyond the property boundaries are prohibited
- Primary building entrance must be located along the Required Entry Zone (REZ) and be oriented to the street
- Lots are required to be large enough and developed to accommodate the building, sewage disposal system, required parking, service access and pedestrian circulation including persons with disabilities
- One hundred percent lot coverage is allowable when applicable minimum loading/parking space and setback requirements are met
- There is no building height limitation except when the property abuts a residential zone, in which case the building height is limited to the height allowed in the adjacent residential zone for a distance of 50 ft.
- Exterior building articulation is required every 40 horizontal feet or less
- Ground floor with non-street-facing residential use must be elevated a minimum of 18 inches above grade
- Pedestrian sidewalks or walkways must be provided to connect the building primary entrance to public right of way
- Off-street parking, drives, garages, and other vehicle areas must be oriented to and accessed from the alley or located behind or to the side of the building; they cannot be placed between buildings and streets
- Access shall be designed to encourage pedestrian and bicycle use and shall facilitate vehicular movements with minimum interference or hazards for through traffic. Access may be subject to the review and approval of the County Engineer or State Department of Transportation. The dedication of additional right-of-way and construction of street improvements by the applicant may be required in order to facilitate traffic circulation.
- Any ground-level shopfront windows facing circulation networks must be kept visible (unshuttered) at night
- Residential uses entirely above the ground floor must have a balcony at least four feet deep

9.424 DOWNTOWN FLEX 2 BUILDING STANDARDS

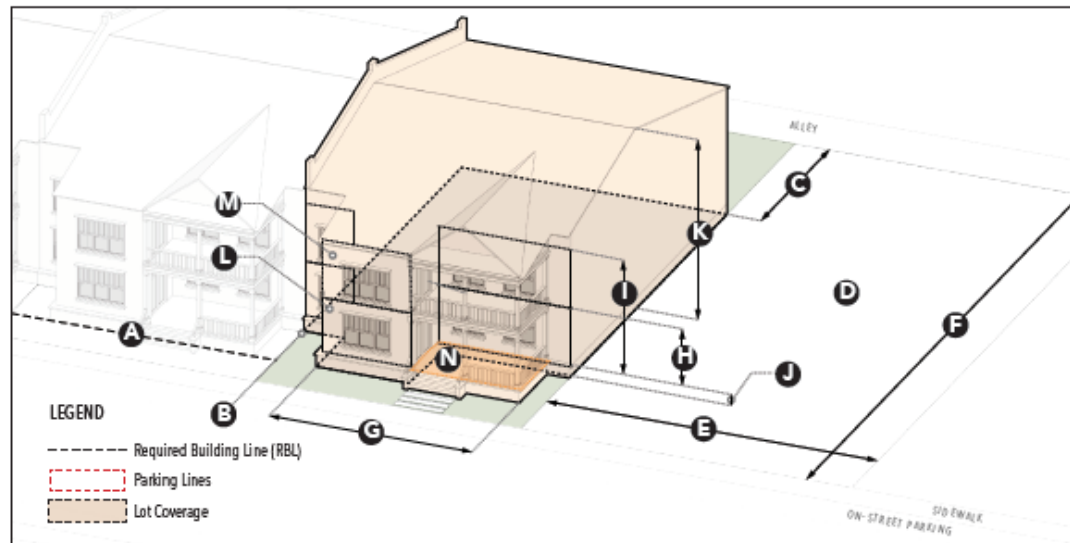


Use	
Ground floor:	commercial (retail, service, office, trade), residential
Upper floor(s):	commercial (retail, service, office, trade), required residential
Placement	
Front required building line (RBL)	0 - 10 ft; the front-most part of the building (i.e. wall, front porch) must be built to RBL. A
Side setback	5 ft min.; 10 ft min. when abutting residential zone B
Rear setback	0 ft min.; 10 ft min. when abutting residential zone C
Parking setback from RBL	20 ft min. D
Parking setback from parcel lines with no RBL	6 ft min.; 20 ft min. when abutting residential zone E
Coverage	
Lot area	no min.; see Notes for prerequisites F
Lot coverage	70% max.
Primary street facade built to RBL	80% min. of RBL length G
Height	
Minimum number of floors	1 floors H
Maximum number of floors	3 floors I
Ground floor elevation	0 in min. above sidewalk; see Notes for residential use J
Floor to floor height	10 ft min. K
Building height	no max.; see Notes when abutting residential zone L
Facade Transparency	
Ground floor	70% of facade area min. M
Upper floors	40% of facade area min. N
Parking	
Number of space	see Section 9.514 Off-Street Parking Requirements

Notes

- Uses that create odor, dust, smoke, noise, or vibration that is perceptible beyond the property boundaries are prohibited
- Primary building entrance must be located along the Required Entry Zone (REZ) and be oriented to the street
- Lots are required to be large enough and developed to accommodate the building, sewage disposal system, required parking, service access and pedestrian circulation including persons with disabilities
- There is no building height limitation except when the property abuts a residential zone, in which case the building height is limited to the height allowed in the adjacent residential zone for a distance of 50 ft.
- Exterior building articulation is required every 40 horizontal feet or less
- Ground floor with residential use must be elevated a minimum of 18 inches above grade
- Pedestrian sidewalks or walkways must be provided to connect the building primary entrance to public right of way
- Off-street parking, drives, garages, and other vehicle areas must be oriented to and accessed from the alley or located behind or to the side of the building; they cannot be placed between buildings and streets
- Access shall be designed to encourage pedestrian and bicycle use and shall facilitate vehicular movements with minimum interference or hazards for through traffic. Access may be subject to the review and approval of the County Engineer or State Department of Transportation. The dedication of additional right-of-way and construction of street improvements by the applicant may be required in order to facilitate traffic circulation.
- Any ground-level shopfront windows facing circulation networks must be kept visible (unshuttered) at night
- Residential uses entirely above the ground floor must have a balcony at least four feet deep

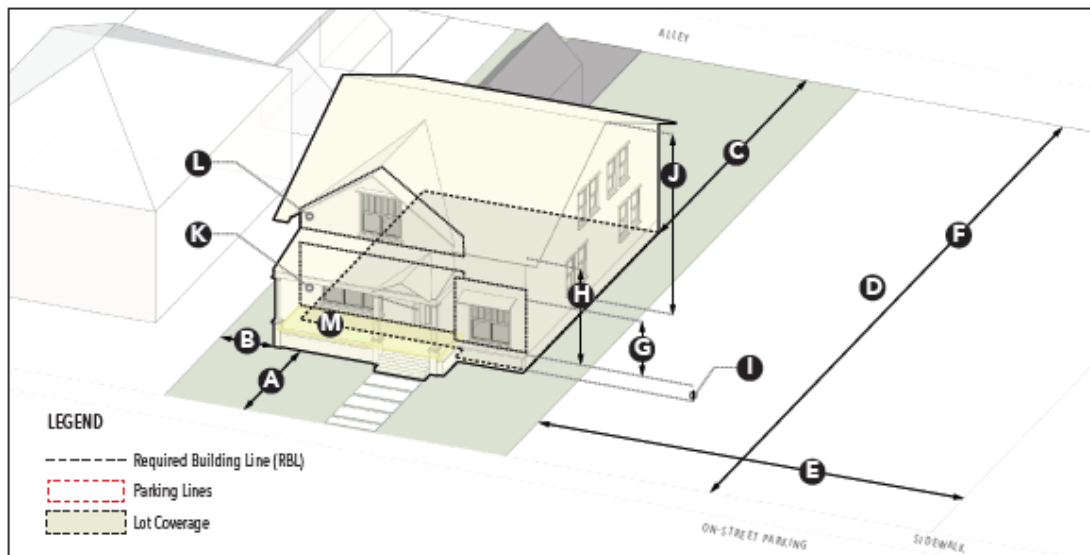
9.425 DOWNTOWN RESIDENTIAL ATTACHED BUILDING STANDARDS



Use		
Ground/upper floor:	residential (primary), commercial (retail, service, office, trade)	
Placement		
Front required building line (RBL)	5 - 15 ft when applicable; the front-most part of the building (i.e. wall, front porch) must be built to RBL	A
Side setback	5 ft min.	B
Rear setback	5 ft min.; 0 ft min. when abutting an alley	C
Coverage		
Lot area	2,000 sf min.	D
Lot width	20 ft min.; 40 ft min. for corner lots	E
Lot depth	1.5x lot width or 100 ft, whichever is less	F
Lot coverage	60% max.; see Notes	
Primary street facade built to RBL	80% min. of RBL length when applicable	G
Height		
Minimum number of floors	2 floors	H
Maximum number of floors	3 floors	I
Ground floor elevation	18 in min. above sidewalk	J
Building height	subject to Fire Chief approval.; see Notes	K
Facade Transparency		
Ground floor	40% of facade area min.	L
Upper floors	40% of facade area min.	M
Porch / covered stoop		
Dimension	6 x 6 ft min. for each primary entry	
Parking		
Number of space	no min. requirement	N

Notes	
•	Uses that create odor, dust, smoke, noise, or vibration that is perceptible beyond the property boundaries are prohibited
•	Primary building entrance must be located along the Required Entry Zone (REZ) and be oriented to the street
•	Maximum lot coverage includes accessory buildings, provided that any patio structure used solely for open space and swimming pool not structurally covered shall not be counted as a structure for ascertaining coverage
•	Maximum building height excludes excluding basements/daylight basements.; accessory buildings are limited to one story
•	All garages, carports or other parking structures must be located behind or to the side of the buildings; they cannot be placed between buildings and streets <ul style="list-style-type: none"> • Garages can be on the first level if accessed oriented to and accessed from an alley • Garages can be a detached style if oriented to and accessed from an alley • When no alley exists, garages can be tucked under the first story and accessed from the front or side of the property if set back a minimum of 20 ft
•	Residential uses entirely above the ground floor must have a balcony at least four feet deep

9.426 DOWNTOWN RESIDENTIAL DETACHED BUILDING STANDARDS



Use	
Ground/upper floor:	residential (primary), commercial (retail, service, office, trade)
Placement	
Front setback	10 ft min., 30 ft max. (A)
Side setback	5 ft min. (B)
Rear setback	5 ft min.; 0 ft min. when abutting an alley (C)
Coverage	
Lot area	5,000 sf min.; 6,000 sf min. for corner lots (D)
Lot width	40 ft min.; 50 ft min. for corner lots (E)
Lot depth	60 ft min. (F)
Lot coverage	50% max., 60% max. with Accessory Dwelling Unit (ADU); see Notes
Height	
Minimum number of floors	1 floors (G)
Maximum number of floors	3 floors (H)
Ground floor elevation	18 in min. above sidewalk (I)
Building height	subject to Fire Chief approval; see Notes (J)
Facade Transparency	
Ground floor	40% of facade area min. (K)
Upper floors	40% of facade area min. (L)
Porch / covered stoop	
Dimension	6 x 6 ft min. for each primary entry (M)
Parking	
Number of required space	1 space per unit

Notes

- Uses that create odor, dust, smoke, noise, or vibration that is perceptible beyond the property boundaries are prohibited
- Primary building entrance must be located along the Required Entry Zone (REZ) and be oriented to the street
- Maximum lot coverage includes accessory buildings, provided that any patio structure used solely for open space and swimming pool not structurally covered shall not be counted as a structure for ascertaining coverage
- Maximum building height excludes excluding basements/daylight basements.; accessory buildings are limited to one story
- All garages, carports or other parking structures must be located behind or to the side of the buildings; they cannot be placed between buildings and streets
 - Garages can be on the first level if accessed oriented to and accessed from an alley
 - Garages can be a detached style if oriented to and accessed from an alley
 - When no alley exists, garages can be tucked under the first story and accessed from the front or side of the property if set back 20 ft min. from RBL
- Residential uses entirely above the ground floor must have a balcony at least four feet deep