



City of Lowell
Planning Commission Hearing

Development Code
Amendments Project

1.4.23

Presentation Outline

- Background
- Policy Foundation
- Key Amendment Themes (Adjustments)

● Completed

● Present Focus

● Forthcoming



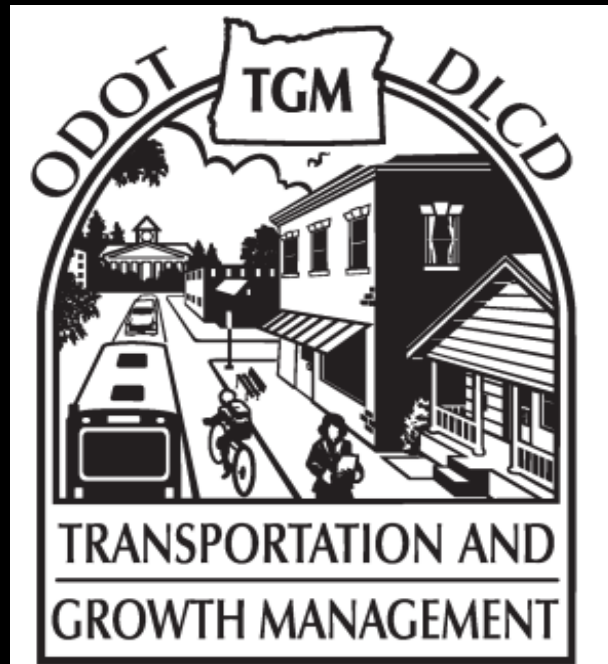
Code Committee Members

- **Jimmy Martini** - Bridgetown Market – local business owner in the downtown area
- **Jason Prenevost** - JK Electrical – local business owner
- **Don Bennett** - Mayor and resident
- **Lon Dragt** - Fire Chief/Planning Commission and Blackberry Jam Festival Chair
- **Johnnie Mathews** – Lowell School Superintendent (representing school stakeholder group)
- **Lloyd Hall** – Lowell Rural Fire District
- **Lisa Bee-Wilson** – Lowell Resident
- **Bill Clingman** – Lowell Resident
- **Mia Nelson** – Lowell Resident

Project Management Team (PMT):

- **Jeremy Caudle**- Lowell City Administrator
- **Laura Buhl**- TGM Code Assistance (ODOT/DLCD)
- **Lane Council of Governments**
 - *Jacob Callister*
 - *Henry Hearley*
 - *Urban Design Consultant*

Transportation and Growth Management (TGM)



*Create thriving, livable places with
diverse transportation choices*

Lowell Comprehensive Plan

Land Use Goals:

GOAL 4. To provide an inviting Downtown Core Area enhanced with mixed uses, sidewalks, bike lanes, landscaping, distinctive lighting and underground utilities.

GOAL 5. To promote residential growth in order to create a more self-sustaining community.

Lowell Comprehensive Plan

Section 9.941 (e) Affordable Housing

*Among the means at a City's disposal are **Code provisions for smaller lots**, the provision of multi-family zones in the community...*

Section 9.941 (d) Housing Costs

The City will continue to seek means of reducing housing costs within the City.

*...**Reduced lot sizes, efficient planning, and inexpensive construction** alternatives can be utilized to maintain housing within affordable limits.*

Lowell Comprehensive Plan

Housing Policies:

1. The City shall strive to provide all citizens of the community with the opportunity to live in sound housing, adequate to their needs, at reasonable cost relative to their income.
9. The City shall support a wide range of housing types and innovative residential design and planning concepts.

Lowell
Comprehensive Plan

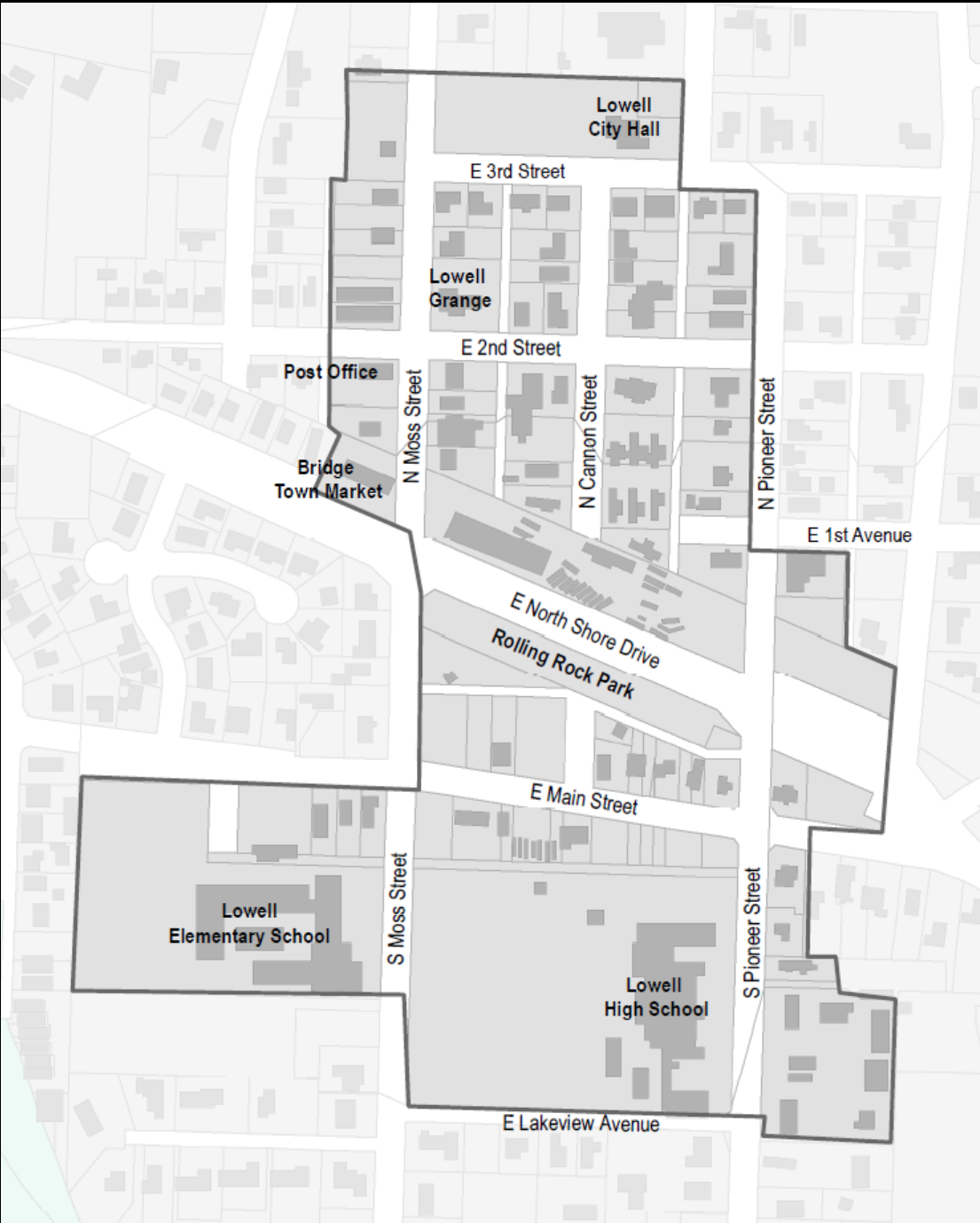
Lowell
Downtown
Master Plan
(Adopted in 2019)

Broader
TGM,
Housing,
Streamlining

*Administrative,
Housekeeping,
Clarity*

*Development Code Amendments
(Implementation)*

Downtown Master Plan Area



1

GOAL: QUAIN T DOWNTOWN

Downtown Lowell will be defined by gateways, have its City Hall at the center, and streets will be walkable with slow traffic.

2

GOAL: CENTRAL PARK

A central park will be at the heart of downtown and provide a tree-lined, comfortable place for pedestrians.

3

GOAL: MULTI-STORY, MIXED-USE BUILDINGS

Buildings in the downtown area will be a mix of commercial and residential uses with a diversity of businesses.

4

GOAL: VARIETY OF HOMES

Homes in downtown will be a mix of sizes and be available to a wide range of income levels.

5

GOAL: CONNECTED, WIDE SIDEWALKS

Downtown Lowell will incorporate an interconnected system of sidewalks and multi-modal pathways to better connect greenspaces and amenities such as Dexter Lake.

DOWNTOWN REGULATING PLAN

LEGEND

[---] Downtown District

— Build To Line (RBL)

--- Required Pedestrian Entry Zone

[---] Parking Zone

1/3 Min/Max Stories

[Red] Downtown Flex 1
(Commercial, Mixed-Use, Residential)

[Pink] Downtown Flex 2
(Commercial, Mixed-Use, Required Residential)

[Orange] Downtown Residential Attached

[Yellow] Downtown Residential Detached

[Blue] Public Lands - Downtown

[Green] Greenspace / Parks

[Light Blue] Public Lands - Downtown

[Green] Greenspace / Parks

[Green] Greenspace / Parks

[Green] Greenspace / Parks

[Green] Greenspace / Parks

[Green] Greenspace / Parks

[Green] Greenspace / Parks

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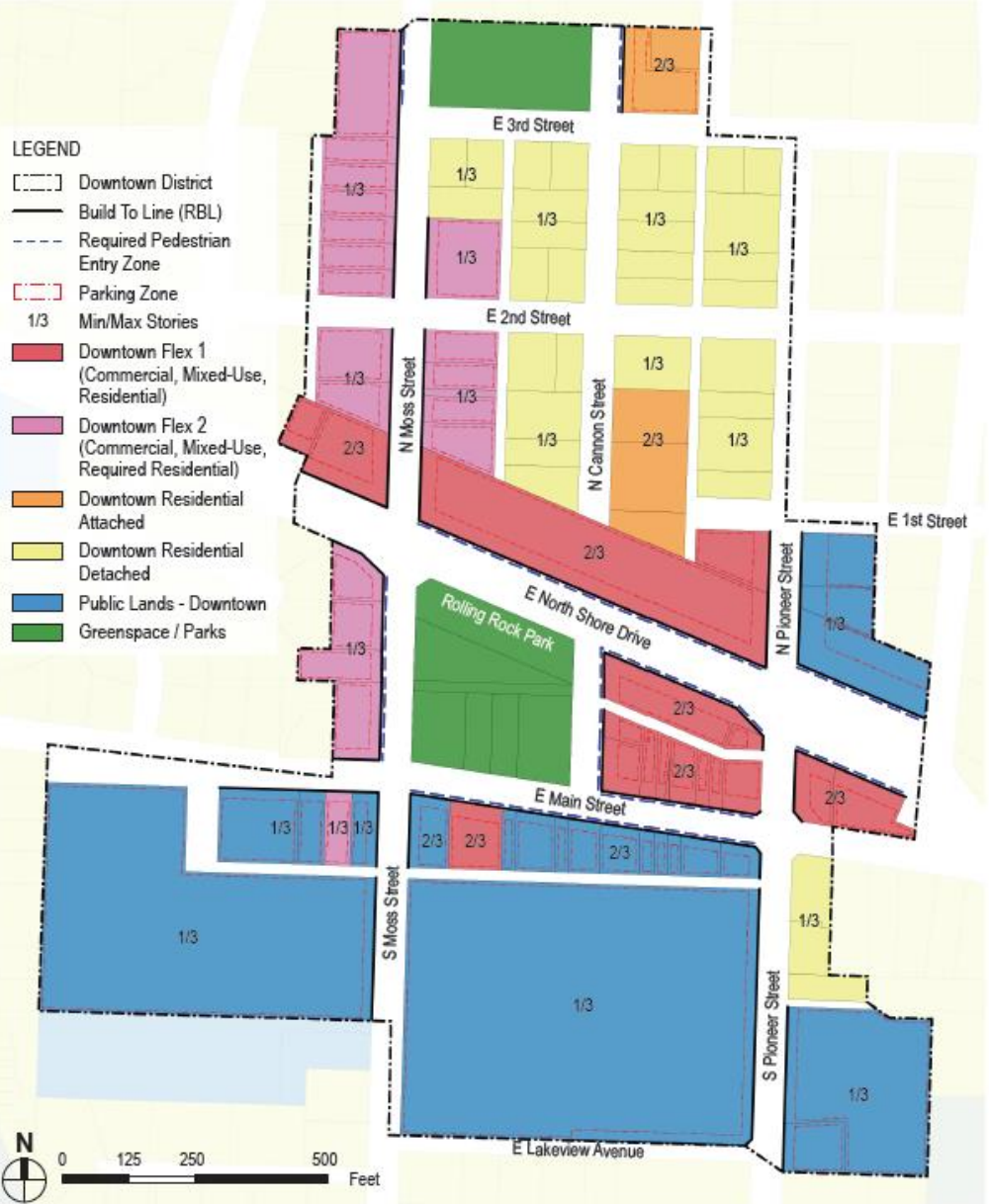
[Green] Greenspace / Parks

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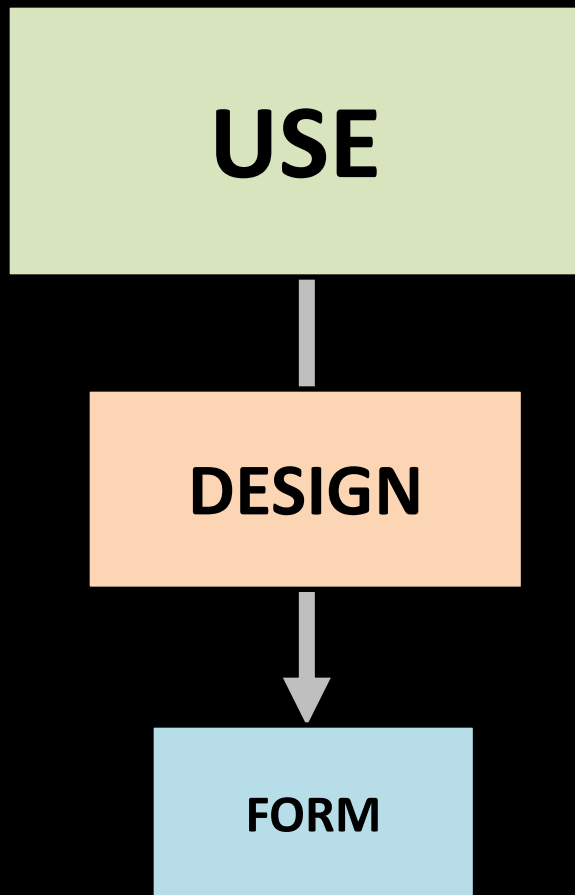
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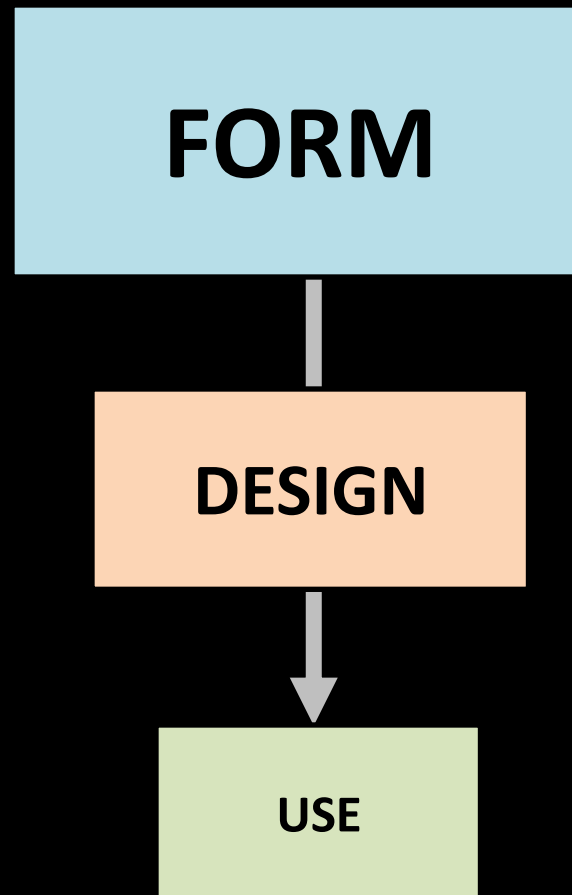
Key Amendment Themes

Form Based Code

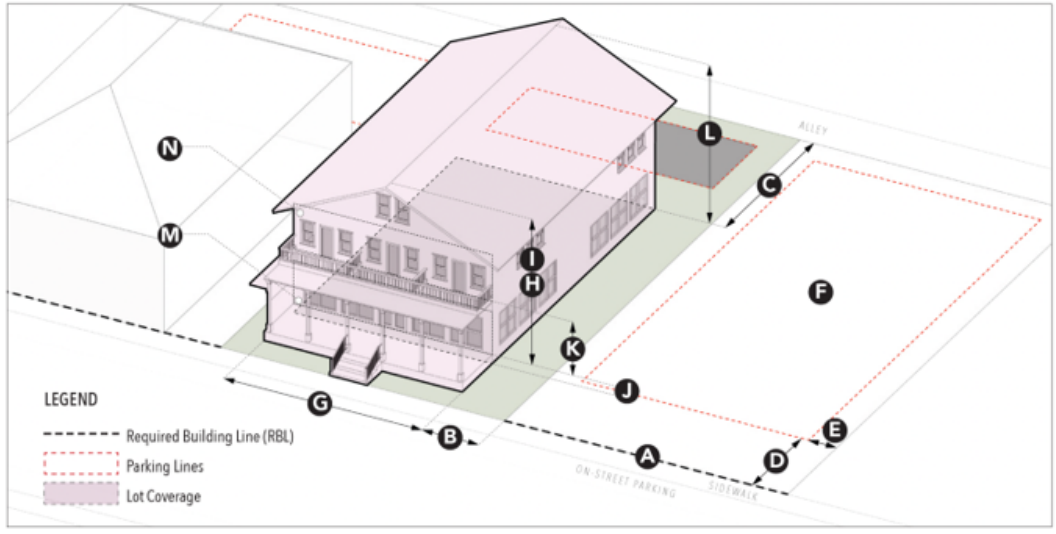
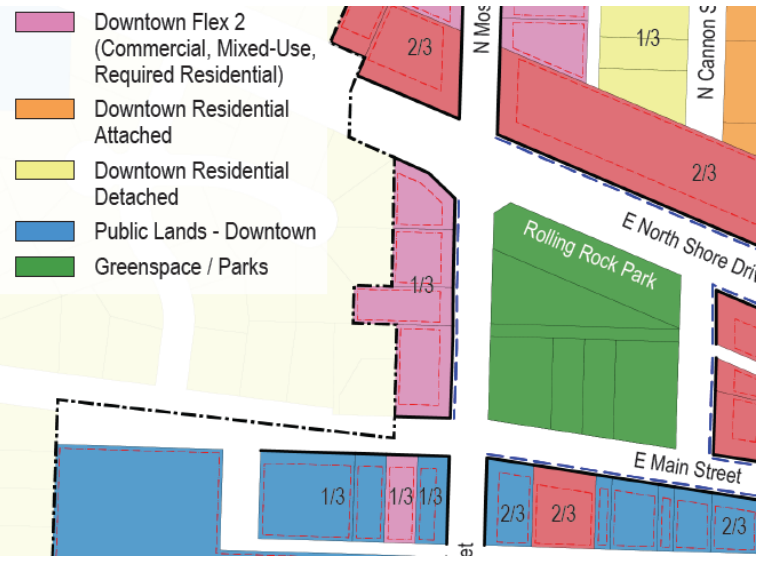
Traditional Zoning



Form Based Code



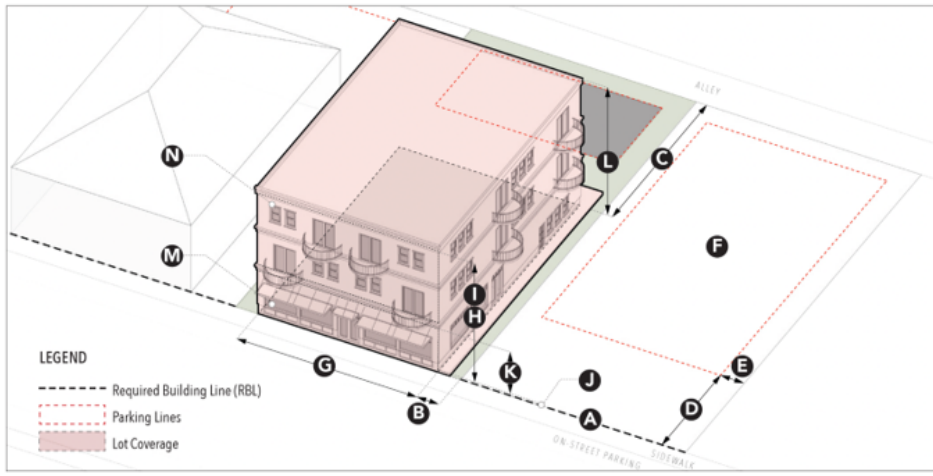
Downtown Flex 2



Use (see Note 1)		
Ground floor:	commercial (retail, service, office), residential	
Upper floor(s):	commercial (retail, service, office), required residential	
Placement		
Front required building line (RBL)	0 - 10 ft; the front-most part of the building (i.e. wall, front porch) must be built to RBL.	A
Side setback	5 ft min.; 10 ft min. when abutting residential zone	B
Rear setback	0 ft min.; 10 ft min. when abutting residential zone	C
Parking setback from RBL	20 ft min.	D
Parking setback from parcel lines with no RBL	6 ft min.; 20 ft min. when abutting residential zone	E
Coverage		
Lot area	no min.; see Note 3	F
Lot coverage	70% max.	
Primary street facade built to RBL	80% min. of RBL length	G
Height		
Minimum number of floors	1 floors	H
Maximum number of floors	3 floors	I
Ground floor elevation	0 in min. above sidewalk; see Note 6 for residential use	J
Floor to floor height	10 ft min.	K
Building height	no max.; see Note 4 when abutting residential zone	L
Facade Transparency		
Ground floor	70% of facade area min.	M
Upper floors	40% of facade area min.	N
Parking		
Number of spaces	no min. requirement; see Note 8	

- Notes**
- Uses that create odor, dust, smoke, noise, or vibration that is perceptible beyond the property boundaries are prohibited.
 - Primary building entrance must be located along the Required Pedestrian Entry Zone and oriented to the street.
 - Lots are required to be large enough and developed to accommodate the building, sewage disposal system, required parking, service access, and pedestrian circulation including for persons with disabilities.
 - There is no building height limitation except when the property abuts a residential zone, in which case the building height is limited to the height allowed in the adjacent residential zone for a distance of 50 ft.
 - Exterior building articulation is required every 40 horizontal feet or less.
 - Ground floors with residential uses must be elevated a minimum of 18 inches above grade.
 - Pedestrian sidewalks or walkways must be provided to connect the building primary entrance to the public right of way.
 - Off-street parking must be located in the Parking Zone as seen on the Regulating Plan Buildings.
 - Access shall be designed to encourage pedestrian and bicycle use and shall facilitate vehicular movements with minimum interference or hazards for through traffic. Access may be subject to the review and approval of the County Engineer or State Department of Transportation. The dedication of additional right-of-way and construction of street improvements by the applicant may be required in order to facilitate traffic circulation.
 - Any ground-level shopfront windows facing circulation networks must be kept visible (unshuttered) at night.
 - Residential uses entirely above the ground floor must have a balcony at least four feet deep.

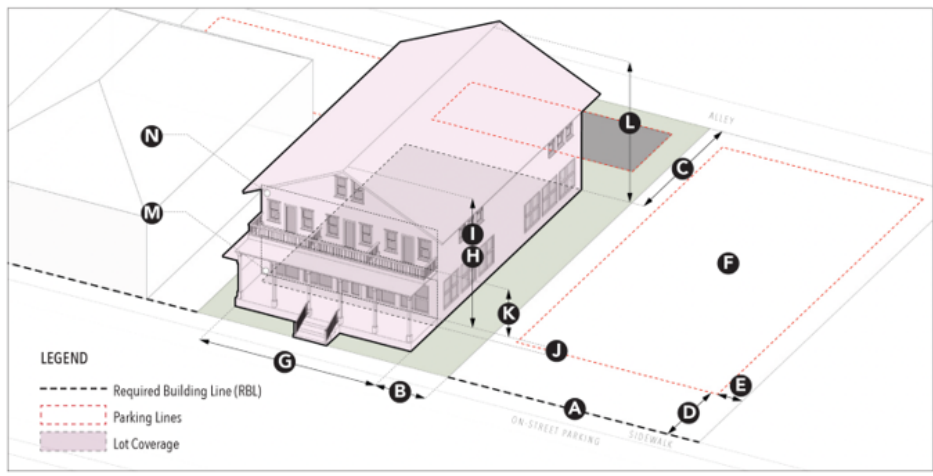
Downtown Flex 1



Use (see Note 1)	
Ground floor:	commercial (retail, service, office)
Upper floor(s):	commercial (retail, service, office), residential
Placement	
Front required building line (RBL)	0 ft; the front-most part of the building (i.e. wall, front porch) must be built to the RBL. A
Side setback	0 ft min.; 10 ft min. when abutting residential zone. B
Rear setback	0 ft min.; 10 ft min. when abutting residential zone. C
Parking setback from RBL	30 ft min. D
Parking setback from parcel lines with no RBL	6 ft min.; 20 ft min. when abutting residential zone. E
Coverage	
Lot area	no min.; see Notes 3 and 4. F
Lot coverage	100% max.; see Notes 3 and 4
Primary street facade built to RBL	90% min. of RBL length. G
Height	
Minimum number of floors	2 floors. H
Maximum number of floors	3 floors. I
Ground floor elevation	0 in min. above sidewalk; see Note 7 for residential use. J
Floor to floor height	10 ft min. K
Building height	no max.; see Note 5 when abutting residential zone. L
Facade Transparency	
Ground floor	75% of facade area min. M
Upper floors	40% of facade area min. N
Parking	
Number of spaces	no min. requirement; see Note 9

- Notes**
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 - Primary building entrance must be located along the Required Pedestrian Entry Zone and oriented to the street.
 - Lots are required to be large enough and developed to accommodate the building, sewage disposal system, required parking, service access, and pedestrian circulation, including for persons with disabilities.
 - One hundred percent lot coverage is allowable when applicable minimum loading space and setback requirements are met.
 - There is no building height limitation except when the property abuts a residential zone, in which case the building height is limited to the height allowed in the adjacent residential zone for a distance of 50 ft.
 - Exterior building articulation is required every 40 horizontal feet or less.
 - Ground floors with non-street-facing residential uses must be elevated a minimum of 18 inches above grade.
 - Pedestrian walkways must be provided to connect the building primary entrance to the public right of way.
 - Off-street parking must be located in the Parking Zone as seen on the Regulating Plan Buildings.
 - Access shall be designed to encourage pedestrian and bicycle use and shall facilitate vehicular movements with minimum interference or hazards for through traffic. Access may be subject to the review and approval of the County Engineer or State Department of Transportation. The dedication of additional right-of-way and construction of street improvements by the applicant may be required in order to facilitate traffic circulation.
 - Any ground-level shopfront windows facing circulation networks must be kept visible (unshuttered) at night.
 - Residential uses entirely above the ground floor must have a balcony at least four feet deep.

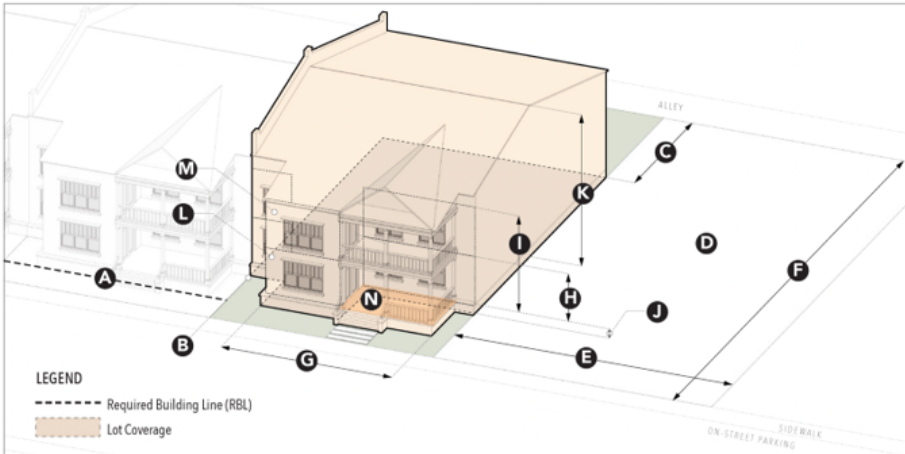
Downtown Flex 2



Use (see Note 1)	
Ground floor:	commercial (retail, service, office), residential
Upper floor(s):	commercial (retail, service, office), required residential
Placement	
Front required building line (RBL)	0 - 10 ft; the front-most part of the building (i.e. wall, front porch) must be built to RBL. A
Side setback	5 ft min.; 10 ft min. when abutting residential zone. B
Rear setback	0 ft min.; 10 ft min. when abutting residential zone. C
Parking setback from RBL	20 ft min. D
Parking setback from parcel lines with no RBL	6 ft min.; 20 ft min. when abutting residential zone. E
Coverage	
Lot area	no min.; see Note 3. F
Lot coverage	70% max.
Primary street facade built to RBL	80% min. of RBL length. G
Height	
Minimum number of floors	1 floors. H
Maximum number of floors	3 floors. I
Ground floor elevation	0 in min. above sidewalk; see Note 6 for residential use. J
Floor to floor height	10 ft min. K
Building height	no max.; see Note 4 when abutting residential zone. L
Facade Transparency	
Ground floor	70% of facade area min. M
Upper floors	40% of facade area min. N
Parking	
Number of spaces	no min. requirement; see Note 8

- Notes**
- Uses that create odor, dust, smoke, noise, or vibration that is perceptible beyond the property boundaries are prohibited.
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 - Lots are required to be large enough and developed to accommodate the building, sewage disposal system, required parking, service access, and pedestrian circulation including for persons with disabilities.
 - There is no building height limitation except when the property abuts a residential zone, in which case the building height is limited to the height allowed in the adjacent residential zone for a distance of 50 ft.
 - Exterior building articulation is required every 40 horizontal feet or less.
 - Ground floors with residential uses must be elevated a minimum of 18 inches above grade.
 - Pedestrian sidewalks or walkways must be provided to connect the building primary entrance to the public right of way.
 - Off-street parking must be located in the Parking Zone as seen on the Regulating Plan Buildings.
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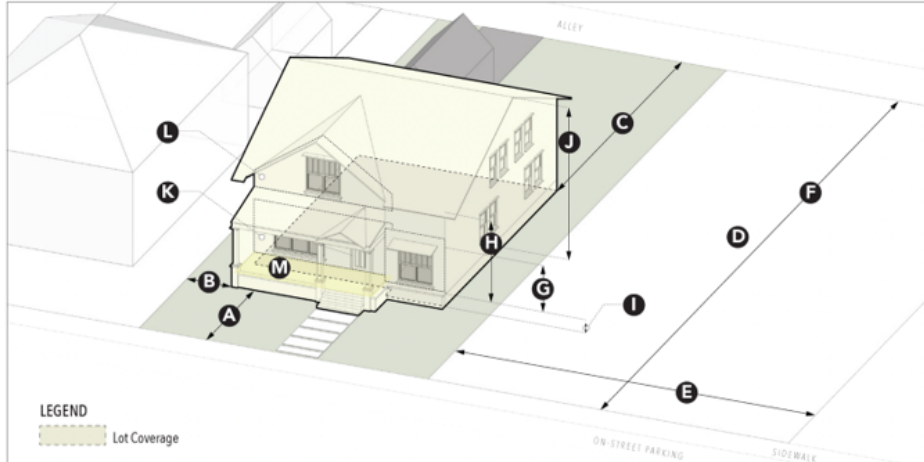
Downtown Residential Attached



Use (see Note 1)		
Ground/upper floor:	residential, commercial (retail, service, office)	
Placement		
Front required building line (RBL)	5 - 15 ft; the front-most part of the building (i.e. wall, front porch) must be built to RBL	A
Side setback	5 ft min.	B
Rear setback	5 ft min.; 0 ft min. when abutting an alley	C
Coverage		
Lot area	2,000 sf min.	D
Lot width	20 ft min.; 30 ft min. for corner lots	E
Lot depth	1.5x lot width or 100 ft, whichever is less	F
Lot coverage	60% max.; see Note 3	
Primary street facade built to RBL	80% min. of RBL length when applicable	G
Height		
Minimum number of floors	2 floors	H
Maximum number of floors	3 floors	I
Ground floor elevation	18 in min. above sidewalk	J
Building height	subject to Fire Chief approval.; see Note 4	K
Facade Transparency		
Ground floor	40% of facade area min.	L
Upper floors	40% of facade area min.	M
Porch / covered stoop		
Dimension	6 x 6 ft min. for each primary entry	
Parking		
Number of spaces	no min. requirement; see Note 5	N

- Notes**
- Uses that create odor, dust, smoke, noise, or vibration that is perceptible beyond the property boundaries are prohibited.
 - Primary building entrance must be located along the Required Pedestrian Entry Zone and oriented to the street.
 - Maximum lot coverage includes accessory buildings, provided that any patio structure used solely for open space and swimming pool not structurally covered shall not be counted as a structure for measuring coverage.
 - Maximum building height excludes basements and daylight basements. Accessory buildings are limited to one story.
 - Off-street parking, drives, garages, and other vehicle areas must be oriented to and accessed from an alley or located behind or to the side of the building; they shall not be placed between buildings and streets.
 - Attached and detached garages shall be oriented to and accessed from an alley
 - When no alley exists, garages shall be tucked under the first story and accessed from the front or side of the property if set back a minimum of 20 ft from the front or 10 ft from the side.
 - Residential uses entirely above the ground floor must have a balcony at least four feet deep.

Downtown Residential Detached



Use (see Note 1)		
Ground/upper floor:	residential, commercial (retail, service, office)	
Placement		
Front setback	10 ft min., 30 ft max.	A
Side setback	5 ft min.	B
Rear setback	5 ft min.; 0 ft min. when abutting an alley	C
Coverage		
Lot area	4,000 sf min.	D
Lot width	30 ft min.; 40 ft min. for corner lots	E
Lot depth	60 ft min.	F
Lot coverage	50% max., 60% max. with Accessory Dwelling Unit (ADU); see Note 3	
Height		
Minimum number of floors	1 floors	G
Maximum number of floors	3 floors	H
Ground floor elevation	18 in min. above sidewalk	I
Building height	subject to Fire Chief approval.; see Note 4	J
Facade Transparency		
Ground floor	40% of facade area min.	K
Upper floors	40% of facade area min.	L
Porch / covered stoop		
Dimension	6 x 6 ft min. for each primary entry	M
Parking		
Number of required space	1 space per unit; see Note 5	

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LOWELL RENDERINGS

Downtown Residential Attached



Downtown Residential Attached | Existing Conditions



Downtown Residential Attached | Rendering A



Downtown Residential Attached | Rendering B



LOWELL RENDERING

Downtown Flex 1



Downtown Flex 1 | Existing Conditions



Downtown Flex 1 | Rendering A



Regulating Plan Changes:

DOWNTOWN REGULATING PLAN



- Public Lands –Downtown (applies to civic/public properties that are in the Downtown)
- Minimal building standards for development on these parcels to maintain flexibility, but consistent with the Master Plan.
- Interim Ownership Adjustments
- City-owned property (purple arrow), recently partitioned in hopes of sale and redevelopment.
 - Currently PL-D, but likely not the most appropriate for resale and redevelopment. Rezone to DRD or Flex?

Minimum Lot Size

- *Request from City to Evaluate*
- *Policy Foundation (reduced lot sizes)*
- *Iteration with Code Committee (4,500)*
- *Open House Feedback*
- *Joint PC/CC Work Session Feedback
(Seems small, more research)*

Minimum Lot Size

Cities	R-1 Minimum Lot Size
Lowell	7,000
Veneta	6,000
Coburg	6,000
Junction City	6,000
Oakridge	5,000
Harrisburg	6,000
Drain	6,000

Latest Revision in R-1/R-3 Zone:

4,500 minimum up to 5,500 minimum

STREET

Front lot line

5,000 sq ft lot



Side lot line

Rear lot line

Front lot line

5,000 sq ft lot

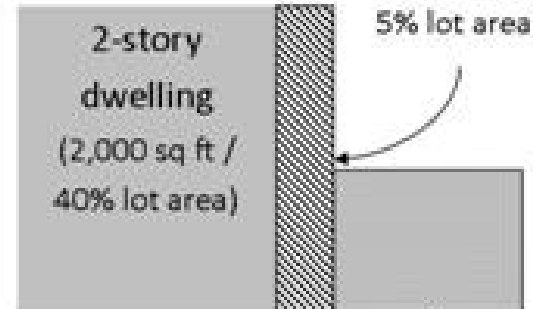


Side lot line

Rear lot line

Front lot line

5,000 sq ft lot

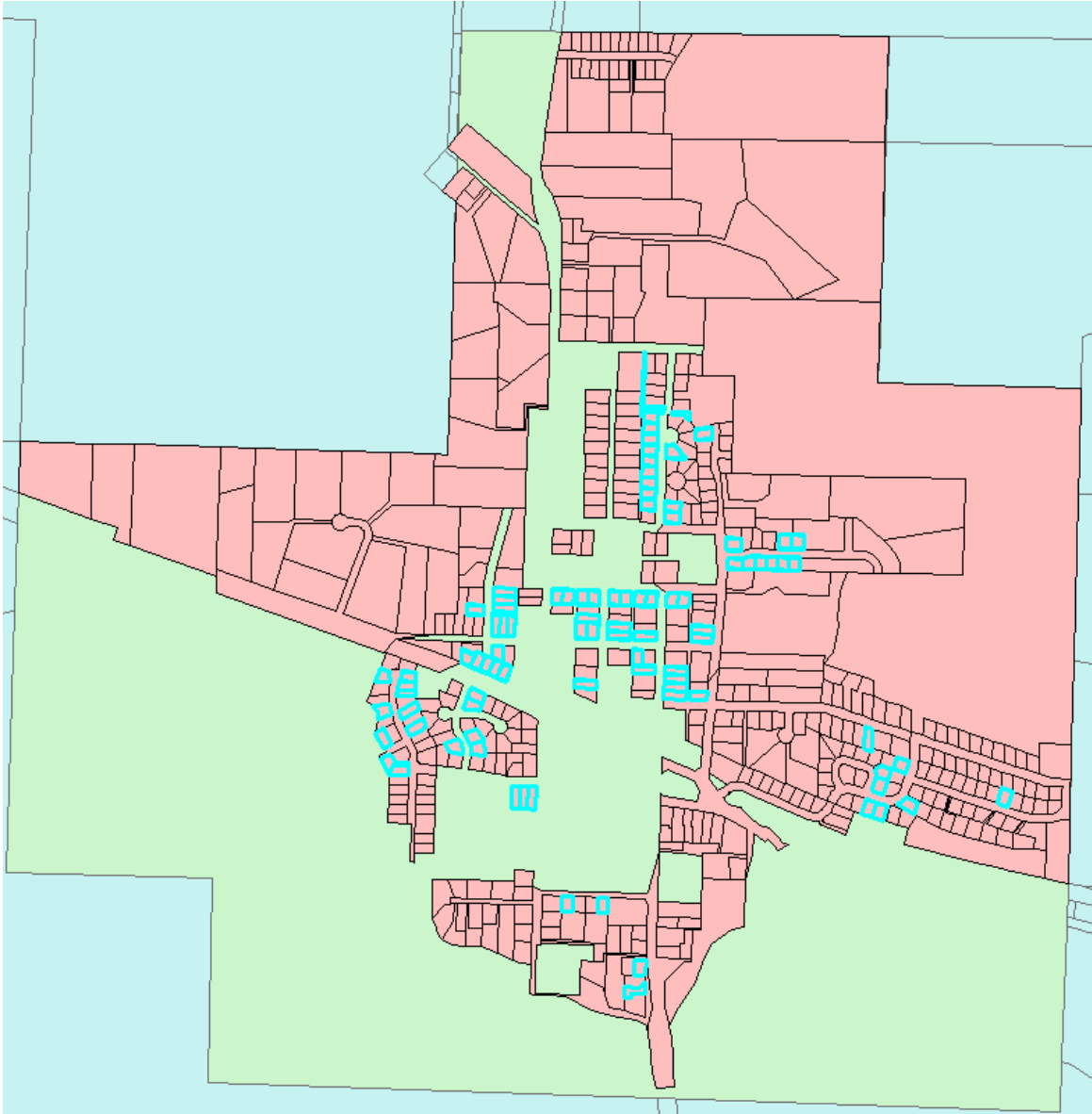


Side lot line

Rear lot line

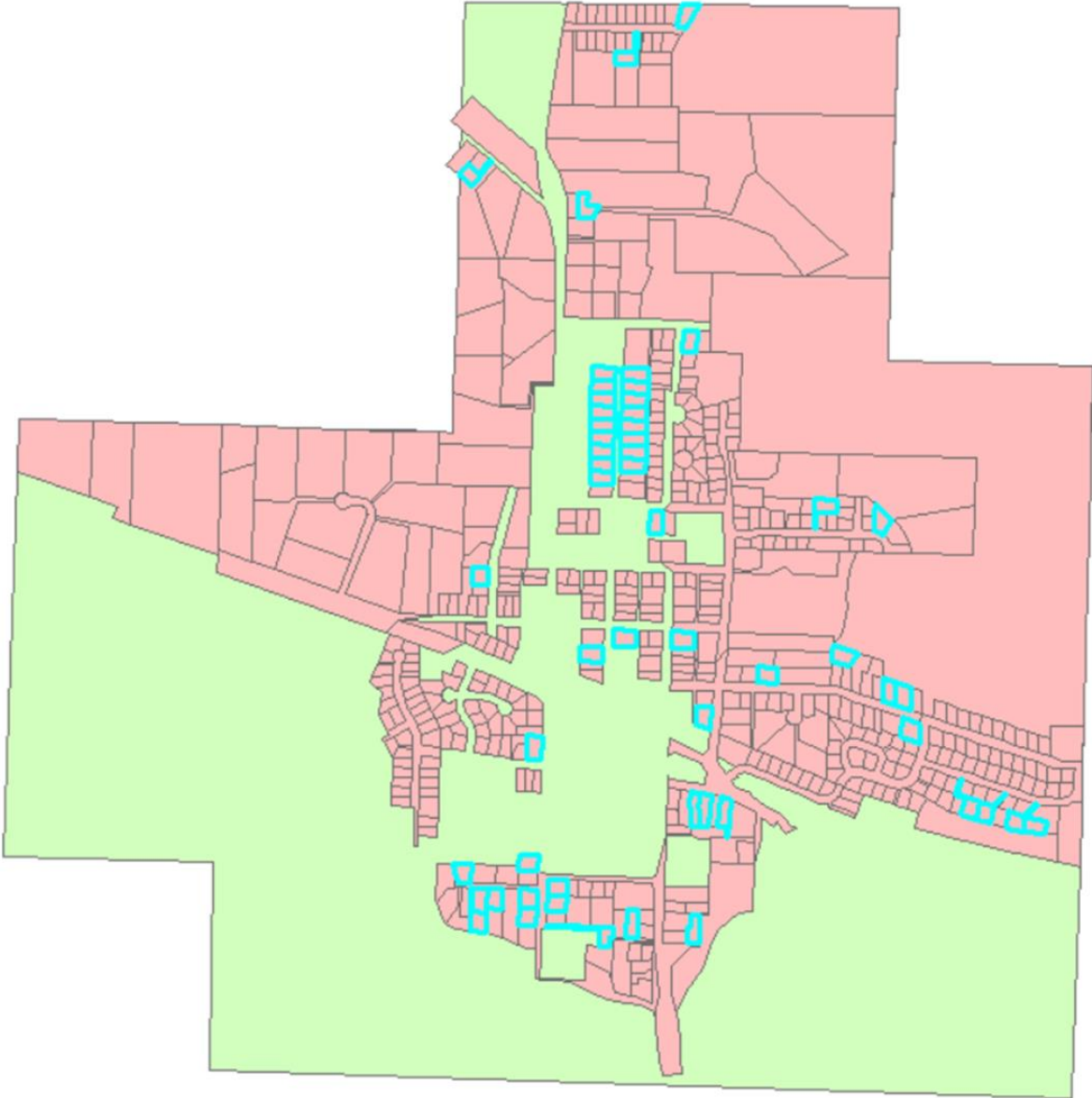
R-1 Zoned Lots

Square Feet	Count
< 7,000	75
6,000-7,000	55
< 6,000	20



Infill Analysis

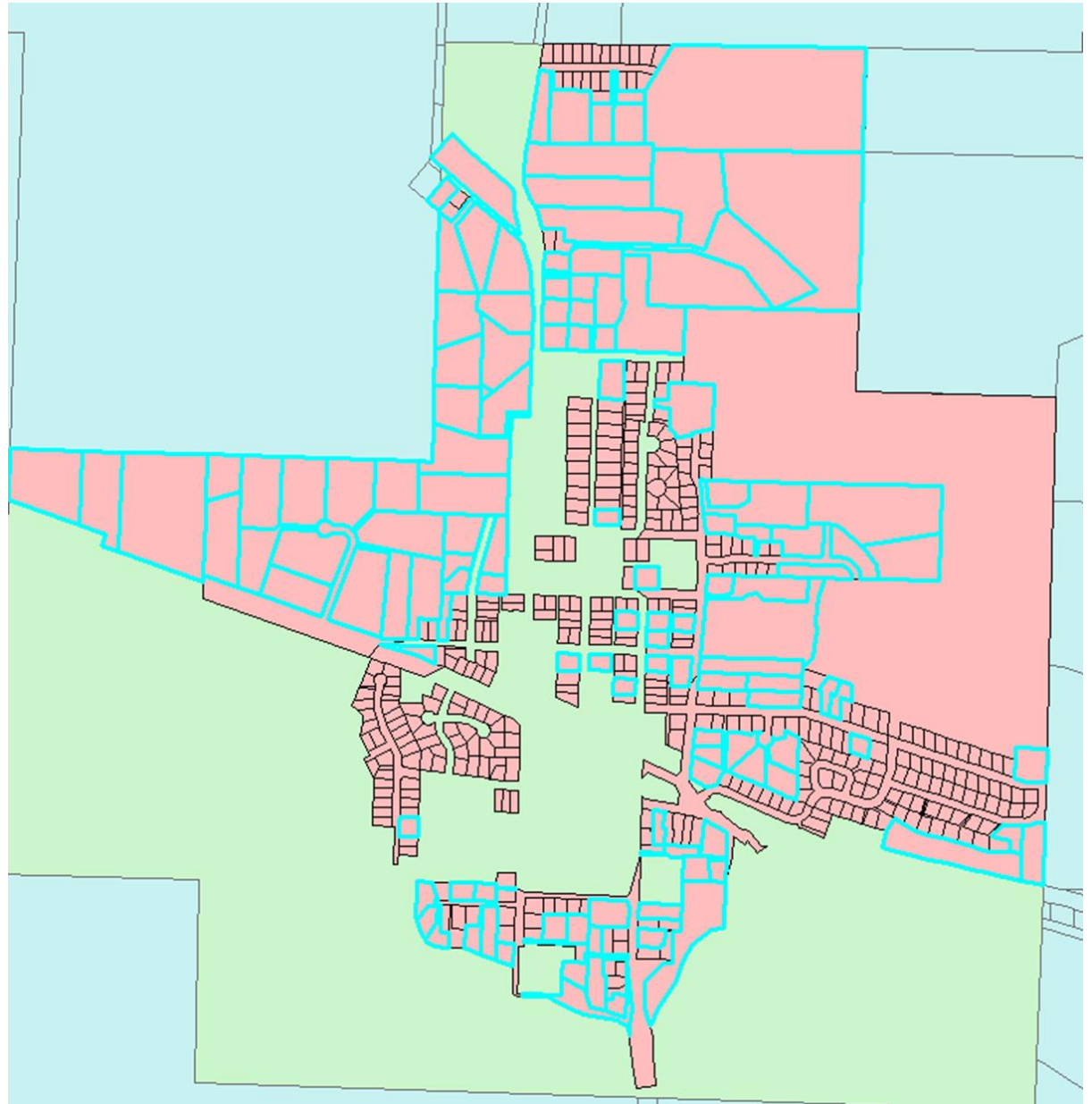
Properties in Lowell that would become technically dividable with a change from R-1 7,000 sq. ft. minimum to 5,500 sq. ft. minimum (14,000 to 11,000 sq. ft).





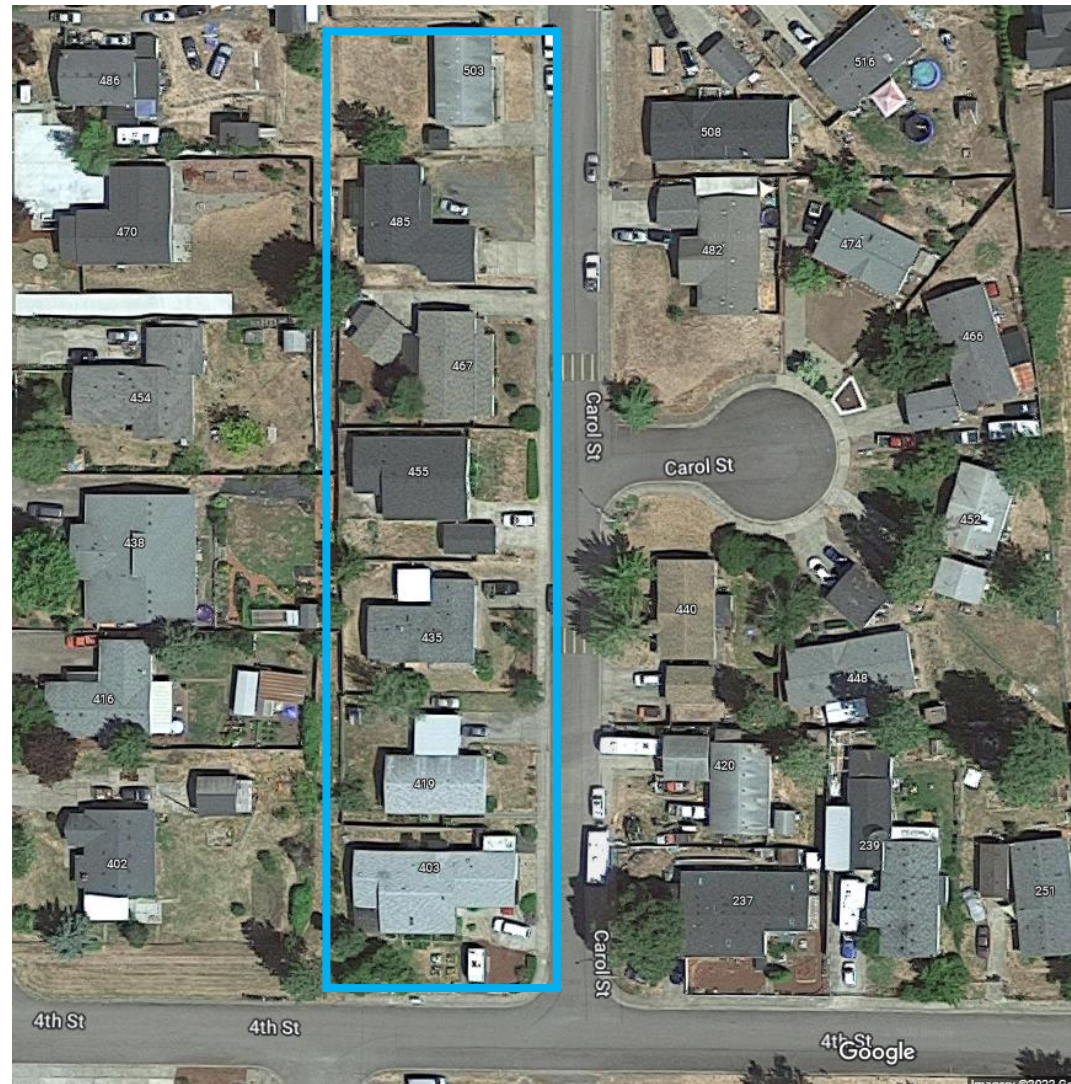


All
Residential
Lots in Lowell
over 14,000
sq ft.

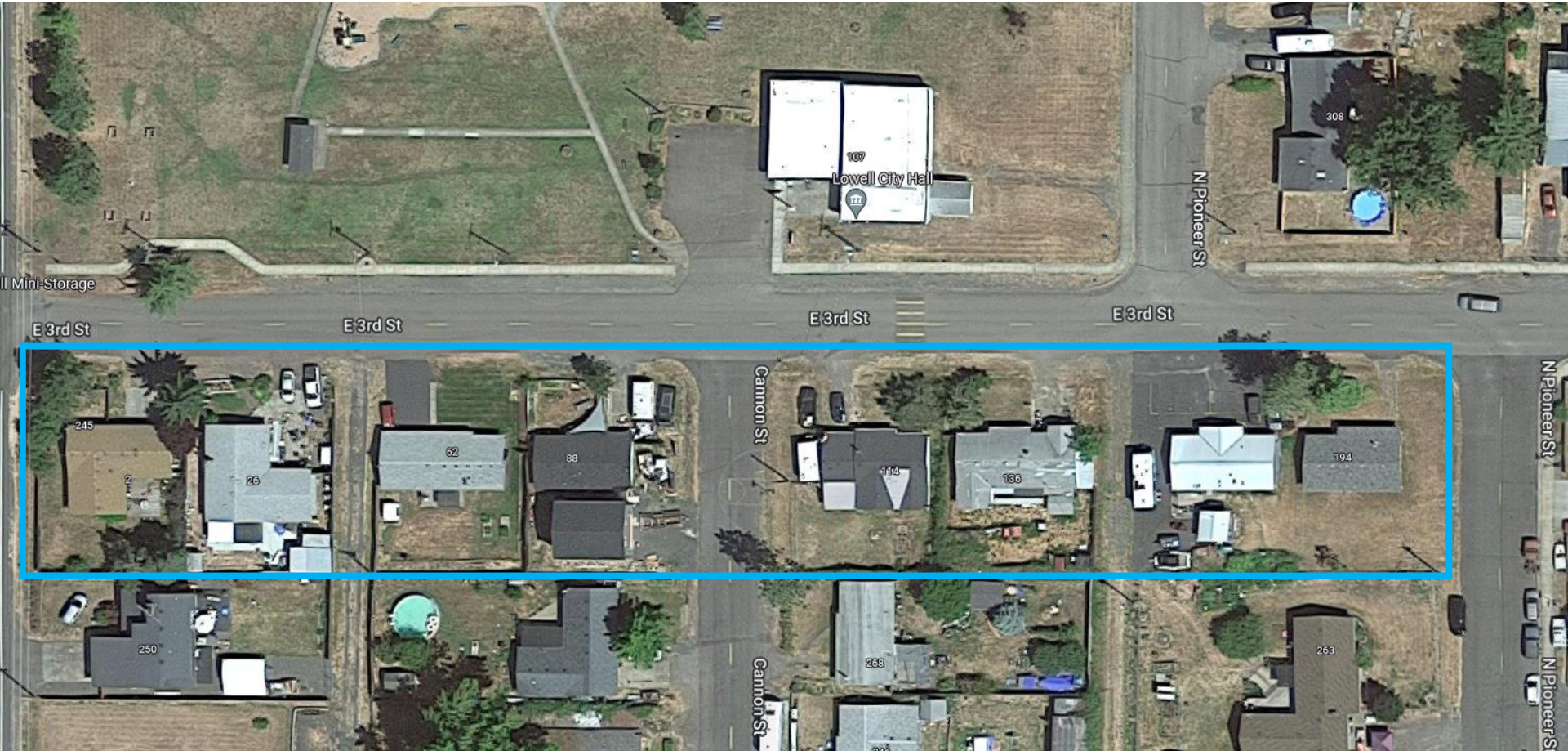


Carol Street In Lowell

Homes about
~6,300 sq ft.



3rd Street in Lowell



Trek Drive in Veneta ~5,600 sq. ft.



Swale Ridge Lane in Creswell ~5,700 sq. ft.



Lincoln Street in Coburg ~5,500 sq. ft.



Quince Street in Junction City ~4,800 sq. ft.



Spores Street in Coburg ~4,500 sq. ft.



Rendezvous Loop in Veneta ~3,800 sq. ft.

Rendezvous Loop
Veneta, Oregon
Google
View - Sep 2011



Blek D
Rainbow Floral
Supply-Oregon
Perkin

TYPE I

**Modification
Sign Permit
Home Occupation**

TYPE II

**Property Line
Adjustment
Temp Dwelling**

TYPE III

**Tent. Subdivision
Variance
Partition**

TYPE IV

**Code Amendments
Annexation
Zone Change**

Accommodating More Housing Types

Accessory Dwelling Units (ADU)

Cottage Clusters

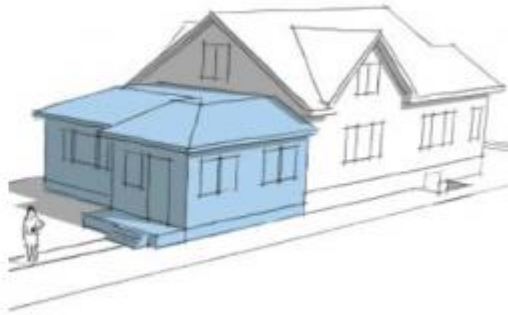
Townhomes

Single Family Homes

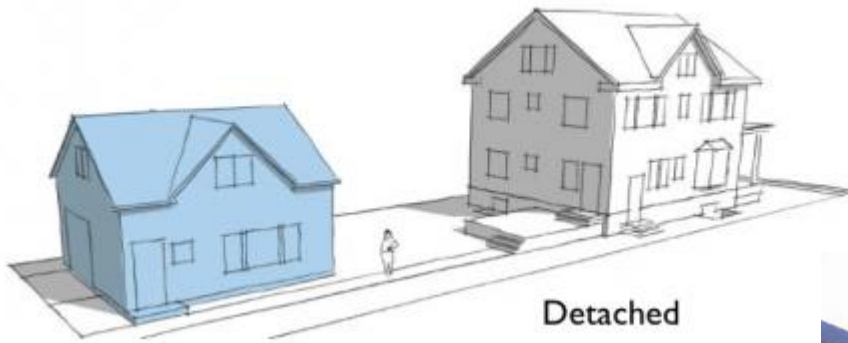
Accessory Dwelling Units



Internal



Attached



Detached





Cottage Housing



Townhomes and single-family residences



Some other Amendment Themes

- **Off-street Parking**
- **Access**
- **Flood Hazards**
- **House Bill 4064** regarding Manufactured Dwelling/Prefabricated structures. Section 9.710

Requested Actions

Recommendation for approval or denial (or revision) to CC for the following proposals:

- Amendments to Development Code (Exhibit D)
- Amendments to Comprehensive Plan (Exhibit E)
- Adoption of new Zoning Districts and Comprehensive Plan Map (Exhibit F)
 - Only changes are incorporating the Regulating Plan into the Zoning Districts and Comp Plan Map. This effectively rezones the properties consistent with the Regulating Plan.
- Adoption of revised Regulating Plan (Exhibit G)
- Adoption of Findings of Fact in support of adoption and approval of all requested actions (Exhibit A)

Actions will be adopted via ordinance (Exhibits B and C) by CC in accordance with the Lowell Charter

Next Steps

Joint Planning Commission and
City Council Work session
(October 18th)

Final Draft Code
Amendments

*CC and PC Hearings

- January 17 CC hearing and final action



A horizontal timeline with a blue line and tick marks. The months are labeled in yellow: OCT, NOV, DEC, JAN, FEB. A vertical dashed line is positioned between DEC and JAN, with the year 2023 written below it.

OCT

NOV

DEC

JAN

FEB

2023

Key Feedback (online survey, N=9)

- Desire to remain small and rural.
- Downtown Plan and proposed amendments take away from the reasons why they moved to Lowell.
- Acknowledgement that Lowell is in need of a facelift, but not at the expense of the small-town atmosphere.
- General support for varied types of housing types (such as ADUs and Cottage Clusters) Some respondents did feel like permitting non-traditional housing types makes Lowell like Eugene/Springfield.
- General support for reduction in minimum lot sizes.
- Respondents understood lower minimum lot sizes means greater density and more housing Surprised to learn that Lowell had one of the highest minimum lot sizes in Lane County for similar sized cities.
- Some respondents prefer the large lot size due to the rural style of living it provides and questioned fire safety and response for having more dense development.

In Person Community Open House

- Won't this raise taxes?
- What about safety and security associated with increased activity in Lowell?
- Do the proposed amendments only address downtown?
- What are the implications of these amendments for my future plans?
- Will the form-based code result in cookie-cutter development?
- Will private property be required/acquired to address Master Planning Needs?
- Residents mentioned a desire to be involved earlier in the conceptual and draft amendment process.
- Difficulty finding amendment materials.
- General positive feeling about form-based code.
- What may my neighbors be motivated to do with decreased minimum lot sizes, regulations.
- Some skepticism about off-street parking
- Confirmation that housing is too expensive to meet existing demands.