

City of Lowell

Maggie Osgood Library and City Hall Renovation

70 N. Pioneer St
Lowell, OR 97452

WILSON
ARCHITECTURE
wilson-architecture.com | 541-912-0878



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OWNER

City of Lowell
107 E. 3rd St
Lowell, OR 97452
Contact: Jeremy Caudle

ARCHITECT

Wilson Architecture
86530 Sanford Rd
Eugene, OR 97402
Contact: Curt Wilson, AIA

MECHANICAL ENGINEER

ColeBreit Engineering
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Suite 110
Bend, OR 97702
Contact: Adam Boyd, PE

ELECTRICAL ENGINEER

ColeBreit Engineering
721 SW Industrial Way
Suite 110
Bend, OR 97702
Contact: Michael Nelson

STRUCTURAL ENGINEER

i.e. Structural, LLC
6975 SW Sandberg St
Suite 160
Tigard, OR 97223
Contact: Rob Van Dyke, PE

2/28/2022

THIS DRAWING SET IS PART OF THE CONSTRUCTION DOCUMENTS SET FOR THIS PROJECT IN ADDITION TO THE PROJECT MANUAL.

THE FOLLOWING BID ALTERNATES APPLY TO THE PROJECT:

- Alternate No. 1 - Replacement Tile in Restrooms
- Alternate No. 2 - New Fire Alarm System
- Alternate No. 3 - Add Data Cabling
- Alternate No. 4 - Add Casework Group B
- Alternate No. 4 - Add Casework Group C
- Alternate No. 6 - Add Casework Group D



Maggie Osgood Library
70 N. Pioneer St.
Lowell, OR 97452

VICINITY MAP

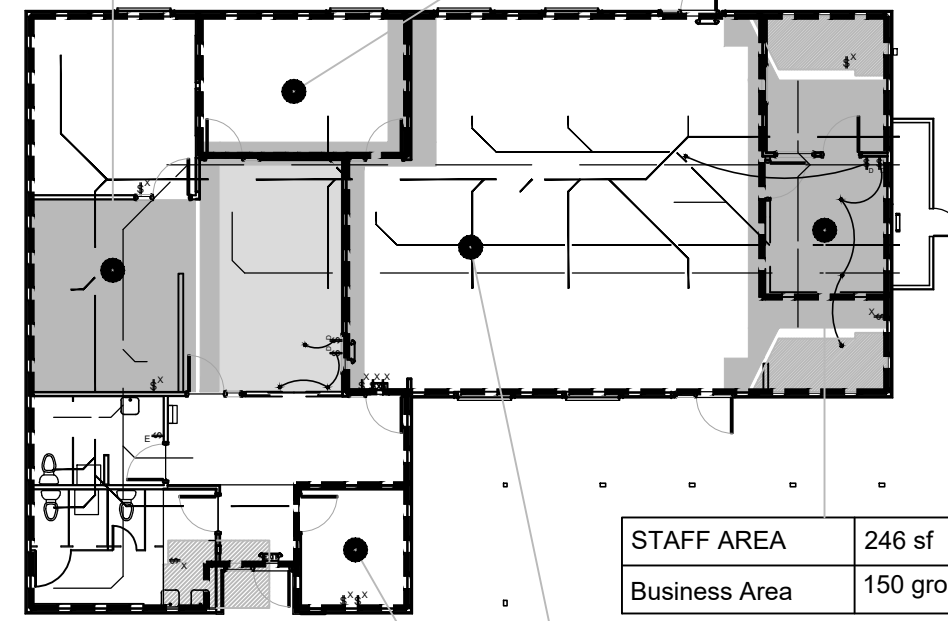
Bid and Permit Set
City of Lowell
Maggie Osgood Library and
City Hall Renovation

PROJECT: 21031
CHECKED: CW
DATE: 2/28/2022 REVISIONS:

Title

T1

| | | |
|------------------|-----------|----|
| CITY HALL | 694 sf | 5 |
| Business Areas | 150 gross | 1 |
| CONF RM | 200 sf | 14 |
| Assembly, Uncon. | 15 net | 1 |



| | | |
|---------------|-----------|---|
| STAFF AREA | 246 sf | 2 |
| Business Area | 150 gross | 1 |

| | | |
|--------------------|-----------|----|
| COLLECTIONS | 248 sf | 12 |
| Library Stack Area | 100 gross | 1 |

| | | |
|---------|-----------|---|
| STORAGE | 87 sf | 0 |
| Storage | 300 gross | 1 |

OCCUPANT LOAD
33 TOTAL OCCUPANTS

Occupancy Diagram 3
First Floor

1/16" = 1'-0"

FIRE EXTINGUISHERS

SEE PLAN FOR LOCATION.

OFFICE AND LIBRARY AREAS

HAZARD LEVEL: LIGHT HAZARD
TYPE AND SIZE: 2A-10BC, 10 LB.
TRAVEL DISTANCE TO EXTINGUISHER (MAX): 75 ft
AREA PER EXTINGUISHER (MAX): 6,000 sf

MOUNTING HEIGHT TO TOP OF EXTINGUISHER: 48 in

CABINET, WHERE OCCURS: NON-LOCKING, PARTIAL GLASS FRONT

TWO EXTINGUISHERS REQUIRED AND PROVIDED

DEFERRED SUBMITTAL(S)

- None Anticipated.

SPECIAL INSPECTION REQUIREMENTS

- None Anticipated.

PLUMBING FIXTURE COUNT

OCCUPANCY BASED ON OCCUPANT LOAD CALCULATION ABOVE.

WC (1 PER 25 FOR FIRST 50; 1 PER 50 AFTER FIRST 50)

REQUIRED: 2
PROVIDED: 3

LAV (1 PER 40 FOR FIRST 80; 1 PER 50 AFTER FIRST 80)

REQUIRED: 2
PROVIDED: 3

SHOWERS: 0

REQUIRED: 0
PROVIDED: 0

DRINKING FOUNTAINS: 1

REQUIRED: 1
PROVIDED: 1

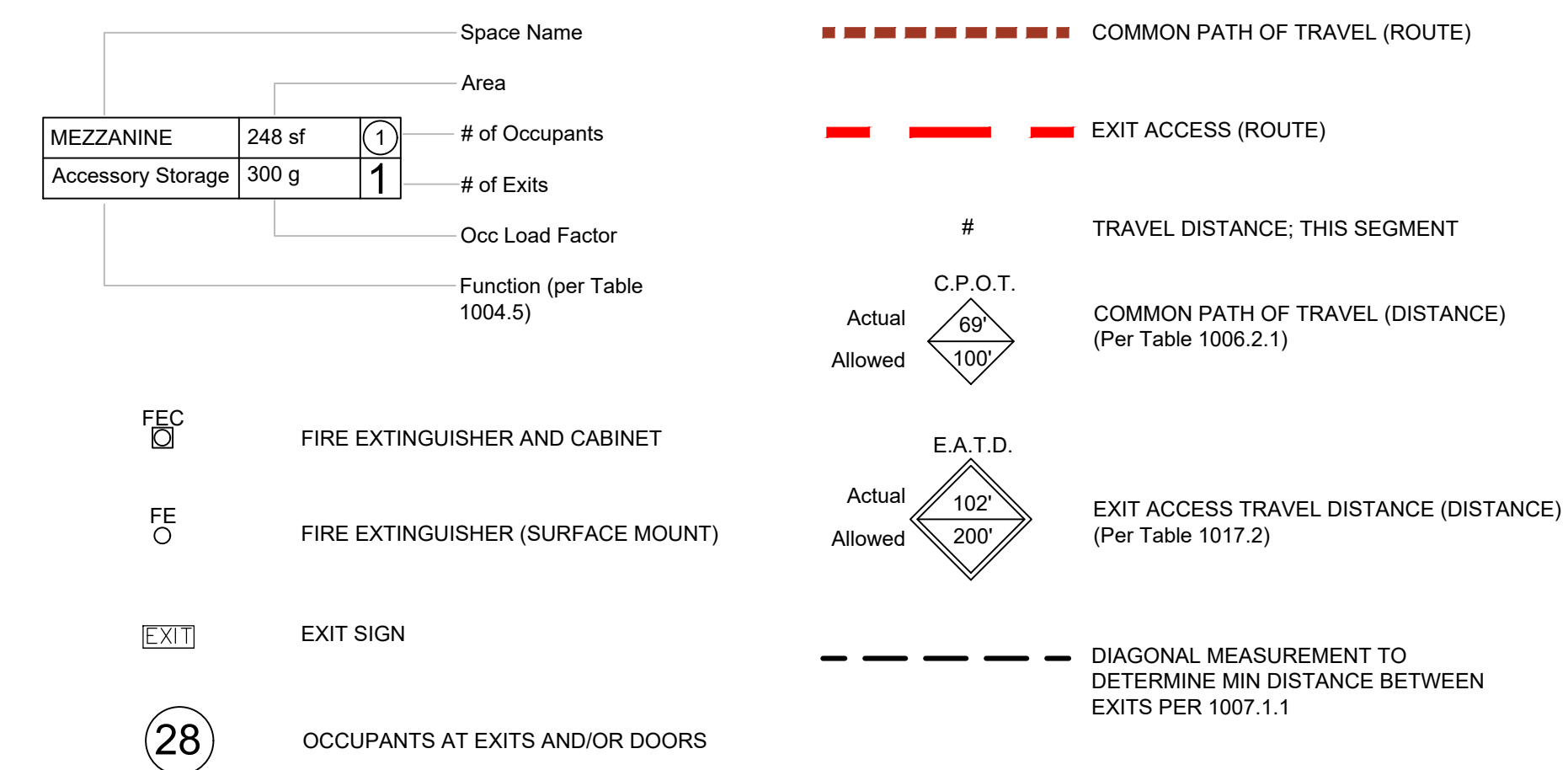
MEANS OF EGRESS SIZING

MEANS OF EGRESS SIZING (1005.3.2): 2 IN PER OCCUPANT
NOTE: CODE DIAGRAM IS BASED ON OCCUPANT LOAD UNIFORMLY DISTRIBUTED PER EXIT.

FIRST FLOOR: .66'

NOTE: ALL EGRESS DOORS ARE NOMINAL 3'-0" DOORS WITH 2'-8" CLEAR WIDTH, WHICH CAN ACCOMMODATE 159 OCCUPANTS.

LEGEND



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SCOPE OF WORK SUMMARY

THE PROJECT INCLUDES THE INTERIOR RENOVATION TO THE FORMER CHURCH AT 70 N. PIONEER ST IN LOWELL TO ACCOMMODATE A NEW LIBRARY AND CITY ADMINISTRATIVE SPACES. THE WORK INCLUDES NEW WINDOWS INSTALLED IN THE EXTERIOR WALL, NEW ELECTRICAL AND LOW VOLTAGE SYSTEMS, AND REPLACEMENT FINISHES.

IMPROVEMENT HISTORY

PARTIAL RECORDS ARE AVAILABLE ABOUT THE EXISTING BUILDING. EXPANSION TO THE BUILDING OCCURRED IN 1989. SITE IMPROVEMENTS MAY HAVE OCCURRED IN 2009.

BUILDING CODE NOTES

GENERAL INFORMATION

ADDRESS: 70 N. PIONEER STREET
LOWELL, OR 97452

DATE OF ORIGINAL CONSTRUCTION: NOT DOCUMENTED.

| | | | |
|---|------------|-----------|----------|
| GROSS BUILDING AREA (NOT INCLUDE ROOF OVERHANG) | FLOOR AREA | ROOF AREA | TOTAL |
| FIRST FLOOR | 2,880 sf | 1,520 sf | 4,400 sf |

APPLICABLE CODE: 2019 OSSC

CONSTRUCTION TYPE: TYPE VB (602.5)
NOT SPRINKLERED

SEISMIC DESIGN

SEISMIC RISK CATEGORY (1604.5): II
SEISMIC DESIGN CATEGORY (1613): D

SEE STRUCTURAL FOR ADDITIONAL DESIGN CRITERIA

OCCUPANCY

THE BUILDING WAS BUILT FOR AND USED AS A CHURCH. THE BUILDING WILL BE USED AS A LIBRARY AND CITY HALL.

ORIGINAL OCCUPANCY A3 (303.4) - CHURCH

NEW OCCUPANCIES A3 (303.4) - LIBRARY
B (304.1) - CIVIC ADMINISTRATION

MIXED OCCUPANCY MIXED, NON-SEPARATED BASED ON A3. NO CHANGE IN OCCUPANCY.

ALLOWABLE AREA

BASE ALLOWABLE AREA (TABLE 506.2): 6000 SF (A3 NS VB)
FRONTAGE INCREASE
- IF PERIMETER, - IF WITH +30 FT YARD, - IF WITH 25 FT YARD.
FRONTAGE INCREASE MULTIPLIER OF .75; OR 3,000 sf
ACTUAL IS LESS THAN ALLOWABLE.

PERMIT NUMBER: tbd

Bid and Permit Set

City of Lowell

Maggie Osgood Library and
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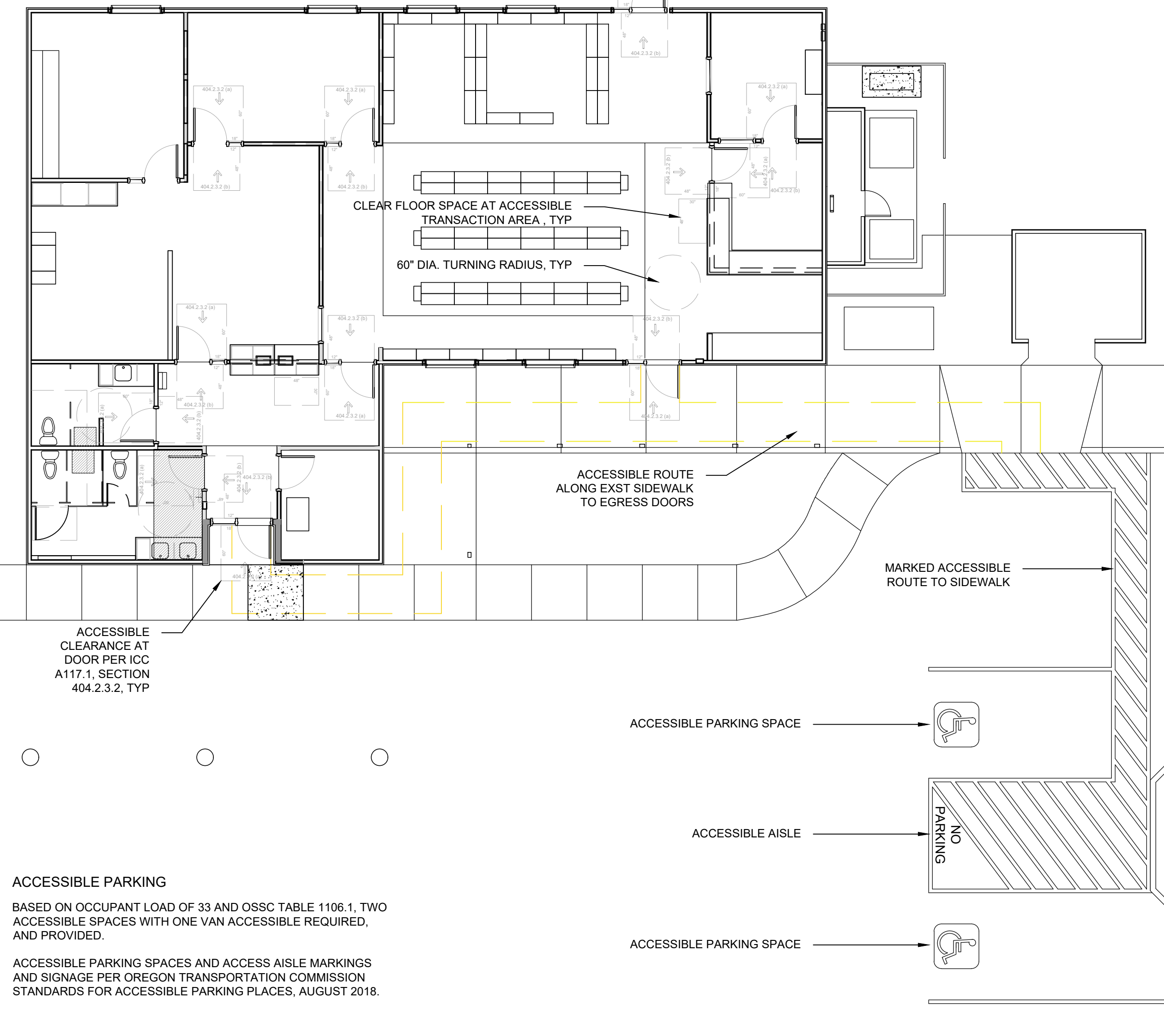
Building Code Information

PROJECT: 21031

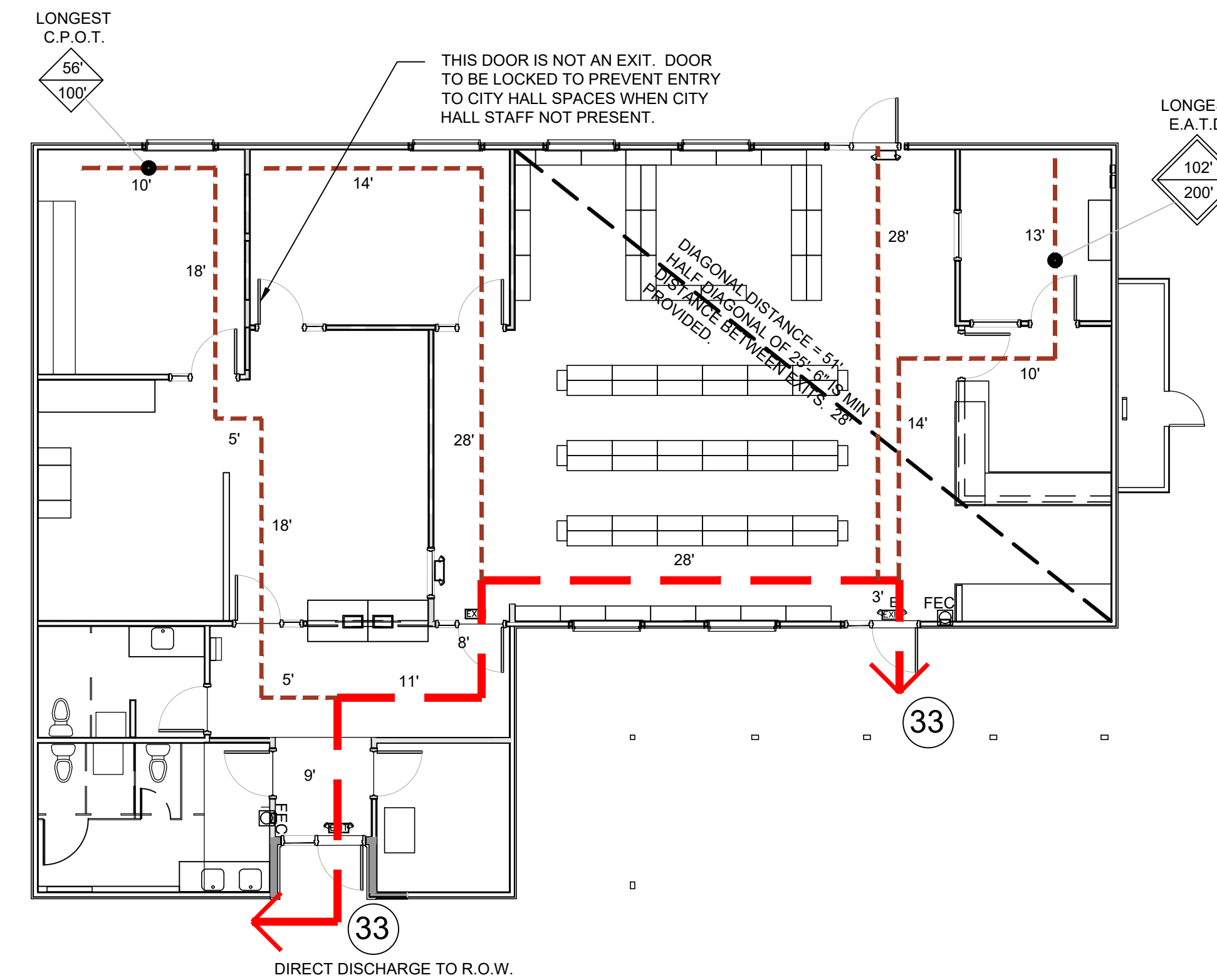
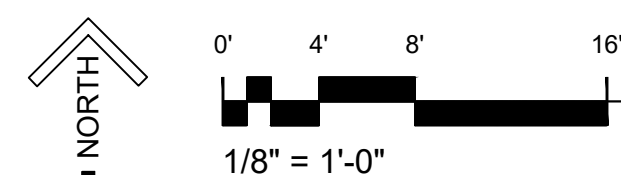
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DATE: 2/28/2022 REVISIONS:

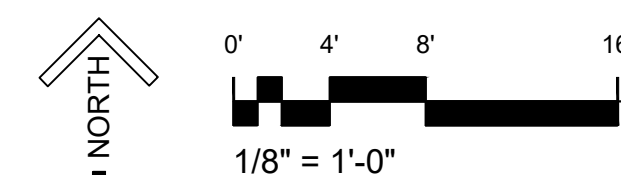
G010



Accessibility Diagram 2
First Floor



Code Diagram 1
First Floor





WALL LEGEND - FLOOR PLAN

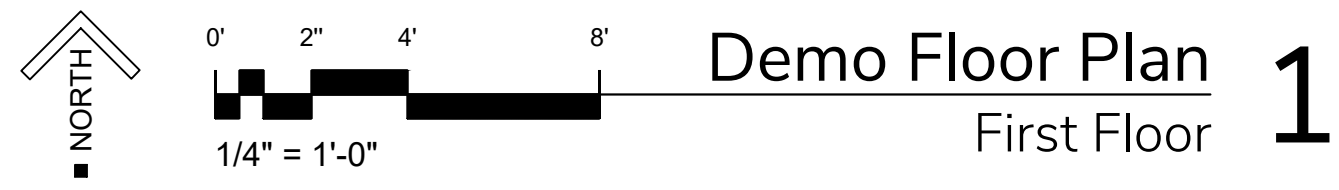
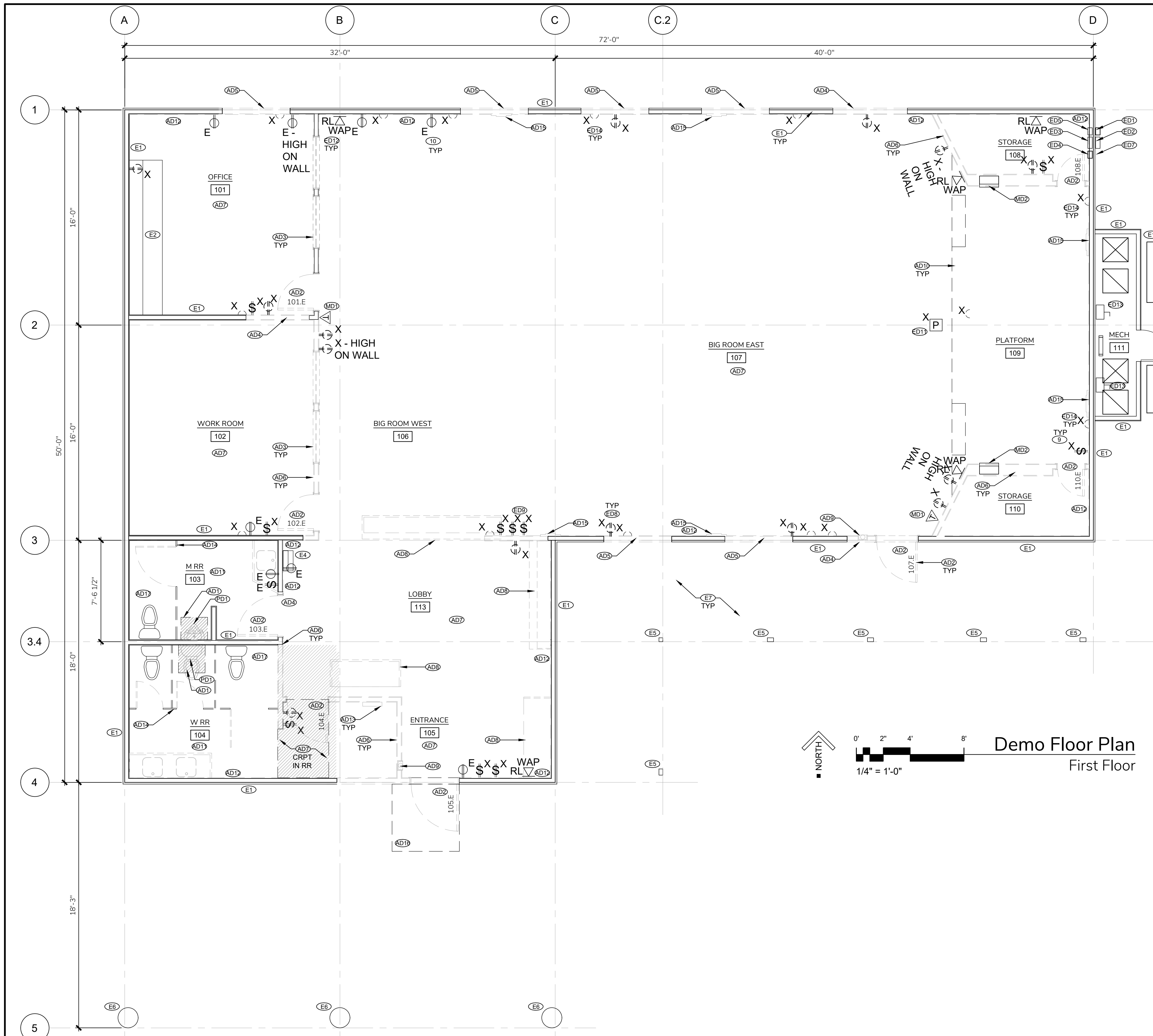
- NEW WALL - THERMAL INSULATION
- NEW WALL - ACOUSTIC INSULATION
- NEW WALL - NO INSULATION
- EXST FRAMING, NEW FINISH
- EXST WALL TO REMAIN

GENERAL NOTES - DEMO PLAN

- A. SEE SHEET A121 FOR LIGHTING SYSTEM DEMO, AND DEMO OF HVAC DUCTWORK ABOVE CEILING.
- C. SEE SHEET E101 FOR SYMBOLS AND ADDITIONAL INFORMATION APPLICABLE HERE.
- D. SEE SPECIFICATION SECTION 02 4100 - DEMOLITION FOR ADDITIONAL DEMOLITION REQUIREMENTS.

KEYNOTES - DEMO PLAN

- PLUMBING DEMO**
- PD1. REMOVE PLUMBING FIXTURE. CAP WASTE PIPING 1" BELOW CONCRETE SLAB. AT WATER SUPPLY BETWEEN TWO FIXTURES TO REMAIN. REPLACE VALVE WITH SOLID PIPE. AT WATER SUPPLY NOT BETWEEN TWO FIXTURES, CAP PIPE AT NEXT FIXTURE TO REMAIN.
- MECHANICAL**
- MD1. REMOVE THERMOSTAT AND CONTROL WIRES.
 - MD2. REMOVE RETURN DUCT LOW RETURNS.
- ELECTRICAL DEMO**
- ED1. EXISTING IRRIGATION SPRINKLER SYSTEM JUNCTION BOX TO BE REMOVED.
 - ED2. EXISTING LANE ELECTRIC COOPERATIVE SERVICE AND METER BASE TO BE REPLACED WITH NEW 400 AMP METER BASE. REPLACE EXISTING 150 AMP TAP CONDUCTORS FEEDING THE HVAC UNIT ENCLOSED CIRCUIT BREAKER WITH NEW TAP CONDUCTORS FROM THE CT ENCLOSURE.
 - ED3. EXISTING SQUARE D QO PANELBOARD TO BE REUSED. ADD CIRCUIT BREAKERS AS NOTED ON PANEL SCHEDULE. DISCONNECT EXISTING TAP CONDUCTORS SERVING 150 AMP ENCLOSED CIRCUIT BREAKER.
 - ED4. EXISTING INTERMATIC TIME CLOCK TO BE REMOVED. EXTEND TWO EXISTING EXTERIOR LIGHTING CIRCUITS TO NEW RELAY PANEL LOCATION. SEE RELAY PANEL SCHEDULE
 - ED5. EXISTING 150/3 ENCLOSED CIRCUIT BREAKER SERVING MECHANICAL UNIT TO REMAIN. REFEED FROM NEW CT ENCLOSURE.
 - ED6. EXISTING IRRIGATION SPRINKLER CONTROL UNIT TO BE RELOCATED.
 - ED7. EXISTING SPECTRUM INTERNET SERVICE BOX TO BE REMOVED.
 - ED8. EXISTING DUPLEX RECEPTACLE TO BE REMOVED. REROUTE EXISTING BRANCH CIRCUIT CONDUCTORS TO NEW OUTLETS IF FEASIBLE.
 - ED9. EXISTING LIGHT SWITCHES TO BE REMOVED. PROVIDE NEW LIGHTING CONTROL DEVICES PER LIGHTING PLAN.
 - ED10. EXISTING DUPLEX RECEPTACLE TO BE REUSED. RECONNECT EXISTING BRANCH CIRCUIT CONDUCTORS IF AFFECTED BY DEMOLITION.
 - ED11. EXISTING PROJECTOR AND ASSOCIATED WIRING TO BE REMOVED
 - ED12. EXISTING WIRELESS ACCESS POINT TO BE RELOCATED. RESERVE FROM NEW NETWORK EQUIPMENT RACK.
 - ED13. EXISTING HVAC DISCONNECT SWITCH TO REMAIN.
 - ED14. EXISTING MICROPHONE OUTLETS TO BE REMOVED.
- EXISTING**
- E1. WALL TO REMAIN. SEE BELOW FOR LOCATIONS WHERE EXST GYP BOARD FINISH TO BE REMOVED. GYP BOARD TO REMAIN UNLESS NOTED OTHERWISE.
 - E2. CASEWORK TO REMAIN. REMOVE AS REQUIRED TO PAINT ADJACENT WALLS AND REPLACE FLOORING.
 - E3. FLOORING TO REMAIN. SEE ALTERNATE FOR REPLACEMENT.
 - E4. DRINKING FAUCET TO REMAIN.
 - E5. WOOD POST TO REMAIN.
 - E6. CONCRETE COLUMNS. SEE A111 FOR REPAIRS.
 - E7. EXTERIOR HORIZONTAL SURFACES TO REMAIN UNLESS NOTED OTHERWISE.
- ARCHITECTURAL DEMO**
- AD1. REMOVAL SUFFICIENT WHOLE FLOOR TILE TO REMOVE PLUMBING FIXTURE AND CAP PIPING. DO NOT LEAVE PARTIALLY CUT NOR DAMAGED FLOOR TILE PIECE. REMOVE WHOLE WALL TILE TO CAP, REPAIR, AND ABANDON PLUMBING WATER SUPPLY(S).
 - AD2. DEMO DOOR AND FRAME.
 - AD3. DEMO INTERIOR RELITE.
 - AD4. PREP OPENING FOR NEW DOOR.
 - AD5. PREP OPENING FOR NEW WINDOW OR RELITE.
 - AD6. DEMO WALL.
 - AD7. DEMO FLOORING. PREP EXST SLAB FOR NEW FLOORING. REMOVE ABRUPT EDGES, AND ALL HIGH SPOTS.
 - AD8. DEMO CASEWORK.
 - AD9. DEMO FIRE EXTINGUISHER SHELF. PROVIDE FIRE EXTINGUISHER TO OWNER FOR REUSE.
 - AD10. DEMO RAISED PLATFORM DOWN TO EXST SLAB.
 - AD11. UNDER ALTERNATE, REMOVE ALL TILE IN EACH RESTROOM. PREP WALLS AND FLOORS FOR NEW TILE.
 - AD12. DEMO GYP BOARD ALONG THIS WALL WHERE FRAMING IS TO REMAIN.
 - AD13. WALL-MOUNTED DIAPER CHANGING STATION. REMOVE AND RELOCATE.
 - AD14. DEMO ALL TOILET PARTITION COMPONENTS IN THE ROOM.
 - AD15. DEMO WALL DECORATION.
 - AD16. SEE A001 FOR MODIFICATIONS TO CONCRETE SIDEWALK.
 - AD17. REMOVE AND SALVAGE GRAB BARS FOR REUSE. NOTE: NOT SHOWN IN THIS DRAWING.



Demo Floor Plan 1
First Floor

Bid and Permit Set

City of Lowell

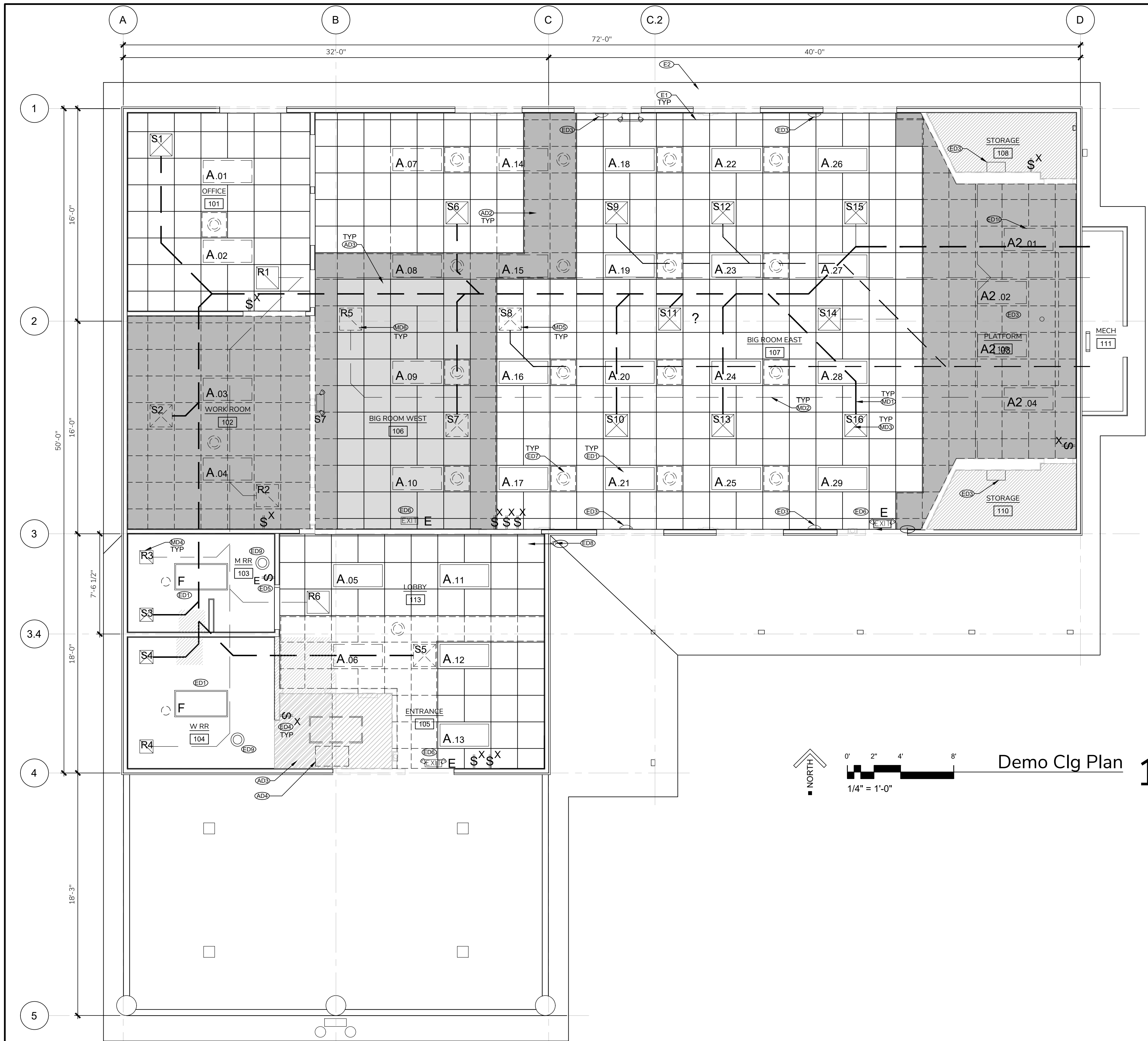
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Demo Floor Plan

PROJECT: 21031

CHECKED: CW

DATE: 2/28/2022 REVISIONS:



Demo Clg Plan 1

- GENERAL NOTES - DEMO PLAN**
- A. SEE A121 FOR LIGHTING AND LIGHTING CONTROLS SYMBOLS APPLICABLE ON THIS SHEET.
 - B. SEE M101, E100 AND E101 FOR ADDITIONAL REQUIREMENTS FOR THE MECHANICAL AND ELECTRICAL SYSTEMS, INCLUDING LEGENDS, AND SYMBOLS.
 - C. SALVAGE ALL WHOLE, UNDAMAGED CEILING TILE SCHEDULE TO BE REMOVED. SORT BY QUALITY OF APPEARANCE AND STORE ON SITE IN AREA PROTECTED BY CONSTRUCTION ACTIVITY. PRIOR TO INSTALLING SALVAGED TILE, REVIEW TILE WITH ARCHITECT AND PLAN FOR HOW TO SELECT WHICH TILES TO INSTALL IN EACH LOCATION.
 - D. PROTECT AND SUPPORT EXISTING CEILING TILE AND GRID SCHEDULED TO REMAIN IN PLACE.

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COLEBREIT ENGINEERING

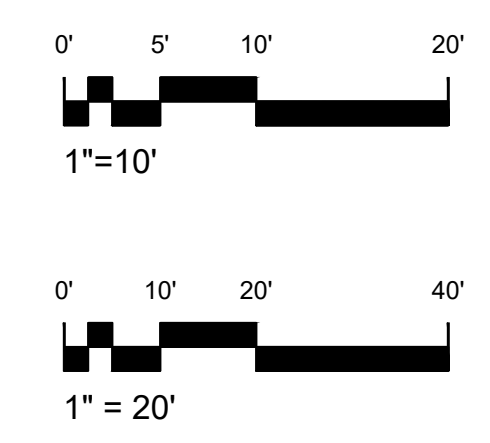
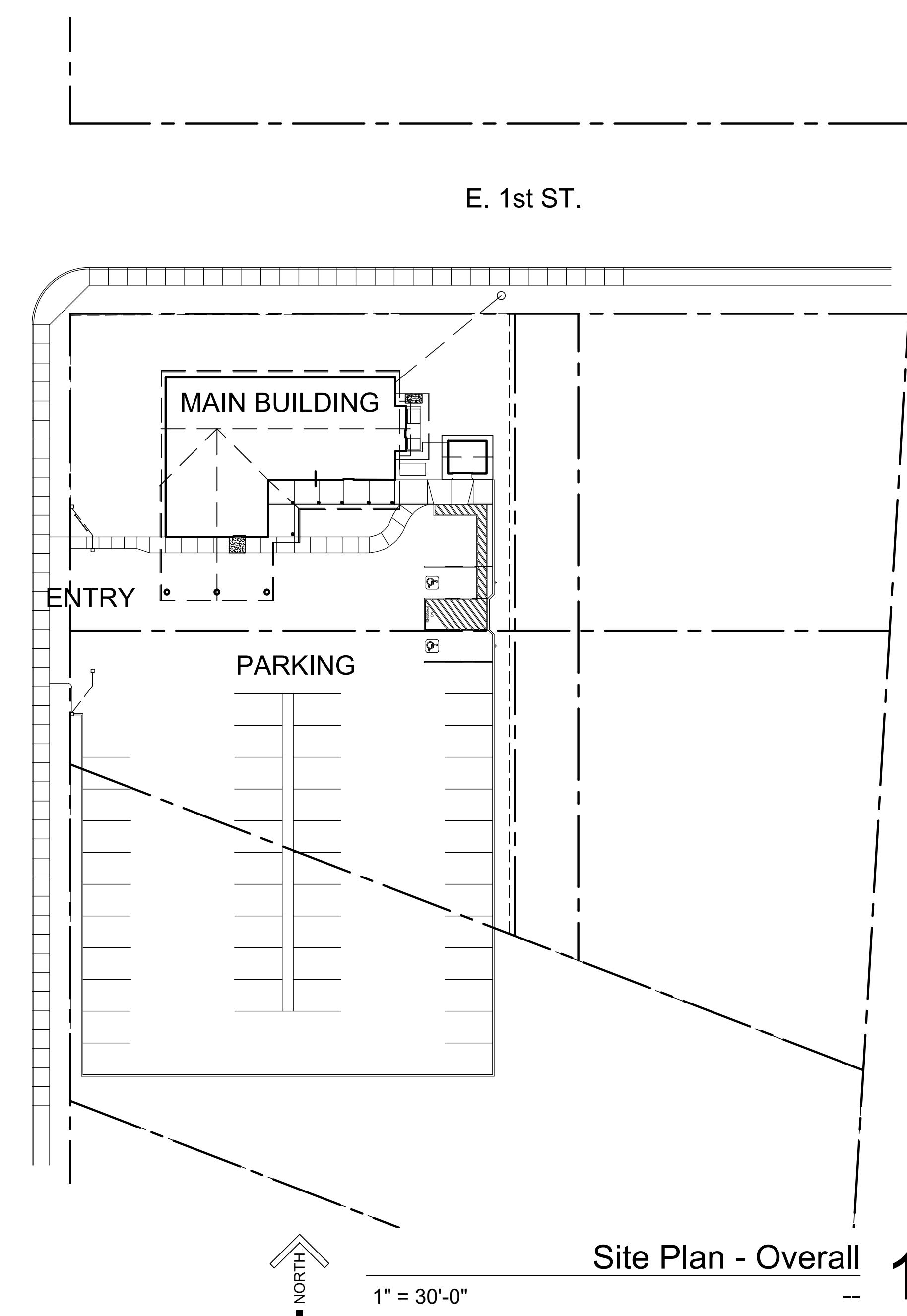
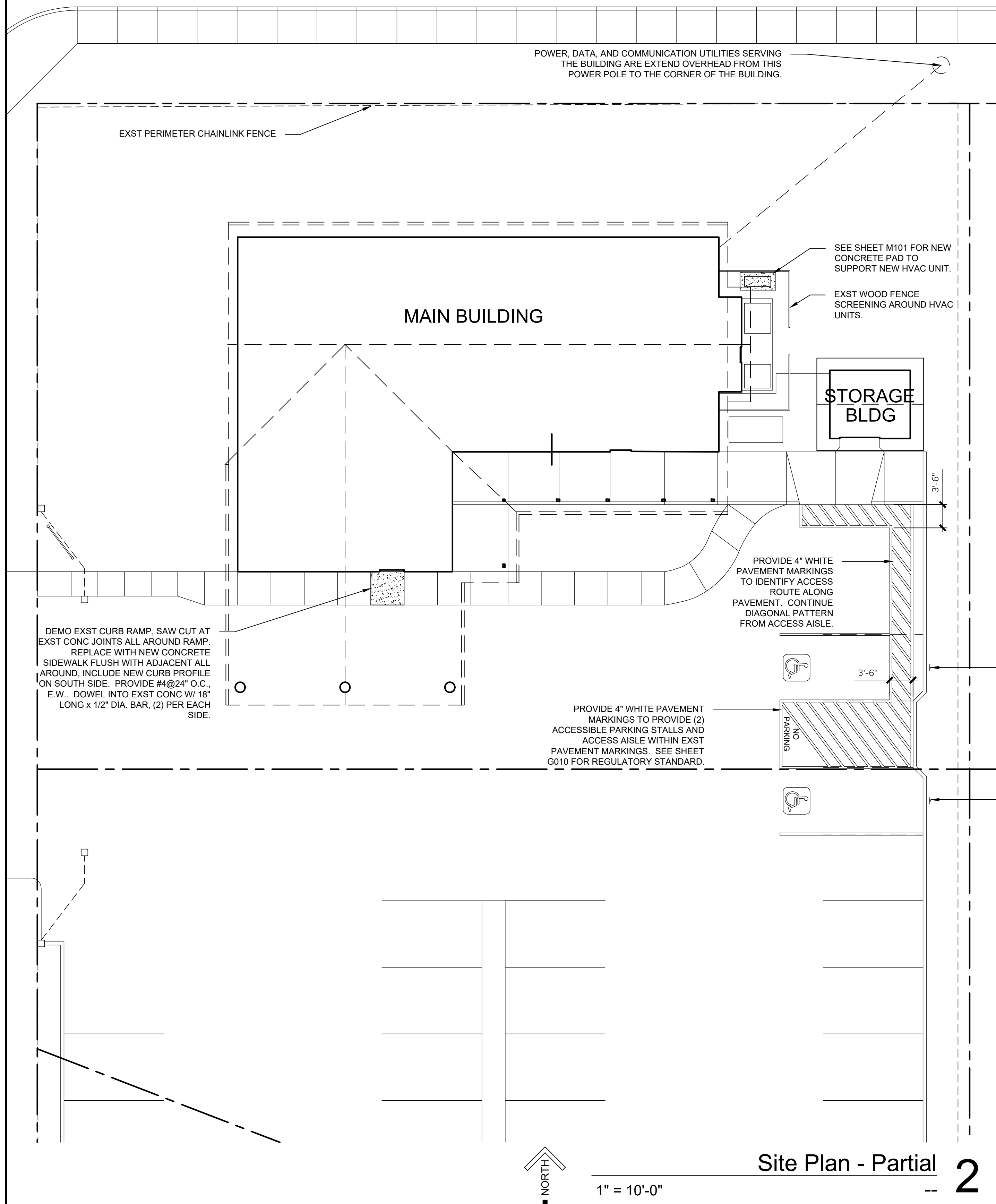
CEILING LEGEND

- ACT CEILING SYSTEM A1
 - EXISTING GRID
 - EXISTING CEILING TILE
- GYP CEILING SYSTEM G1
 - EXISTING CEILING FRAMING
 - EXISTING GYP BRD. PAINT
- CEILING DEMO GROUP 1
 - EXISTING GRID
 - REMOVE CEILING TILE, SALVAGE FOR RE-USE
- CEILING DEMO GROUP 2
 - DEMO GRID
 - REMOVE CEILING TILE, SALVAGE FOR RE-USE
- CEILING DEMO GROUP 3
 - EXISTING FRAMING
 - DEMO GYP BRD
- EXISTING CEILING-MOUNTED SPEAKER
- DEMO CEILING-MOUNTED SPEAKER

KEYNOTES - DEMO PLAN

- EXISTING ELEMENTS TO REMAIN
- E1. EXST CEILING SYSTEM TO REMAIN. PROTECT.
 - E2. EXST ROOF OVERHANG.
 - E3. --
 - E4. --
- ARCHITECTURAL CEILING DEMO
- AD1. CEILING DEMO GROUP 1.
 - AD2. CEILING DEMO GROUP 2.
 - AD3. CEILING DEMO GROUP 3.
 - AD4. EXST CEILING ACCESS HATCH. REMOVE.
- MECHANICAL CEILING DEMO
- MD1. DEMO ALL EXST SUPPLY DUCTING.
 - MD2. DEMO ALL EXST RETURN DUCTING.
 - MD3. EXST SUPPLY GRILLE TO REMAIN. PROTECT.
 - MD4. EXST RETURN GRILL TO REMAIN. PROTECT.
 - MD5. REMOVE SUPPLY GRILLE. RELOCATE AS SHOWN ON M101.
 - MD6. REMOVE RETURN GRILLE. RELOCATED AS SHOWN ON M101.
- ELECTRICAL CEILING DEMO
- ED1. EXST LIGHT FIXTURE TO REMAIN. PROVIDE NEW LIGHTING CONTROL DEVICE AS NOTED ON LIGHTING PLAN AND LIGHTING CONTROL MATRIX. RELAMP PER LIGHT FIXTURE SCHEDULE.
 - ED2. EXST SPEAKER TO BE REMOVED AND DELIVERED TO OWNER. TYPICAL ALL LOCATIONS UNLESS OTHERWISE NOTED.
 - ED3. EXST LIGHT FIXTURE TO BE REMOVED.
 - ED4. EXST LIGHT SWITCH TO BE REMOVED.
 - ED5. EXST LIGHT SWITCH TO BE REUSED.
 - ED6. EXST EMERGENCY EXIT SIGN TO BE REUSED / RELOCATED.
 - ED7. EXST SPEAKER TO BE REMOVED AND DELIVERED TO OWNER FOR FUTURE USE.
 - ED8. EXST EXTERIOR LIGHT FIXTURE TO REMAIN. EXTEND LIGHTING CIRCUIT TO NEW RELAY PANEL.

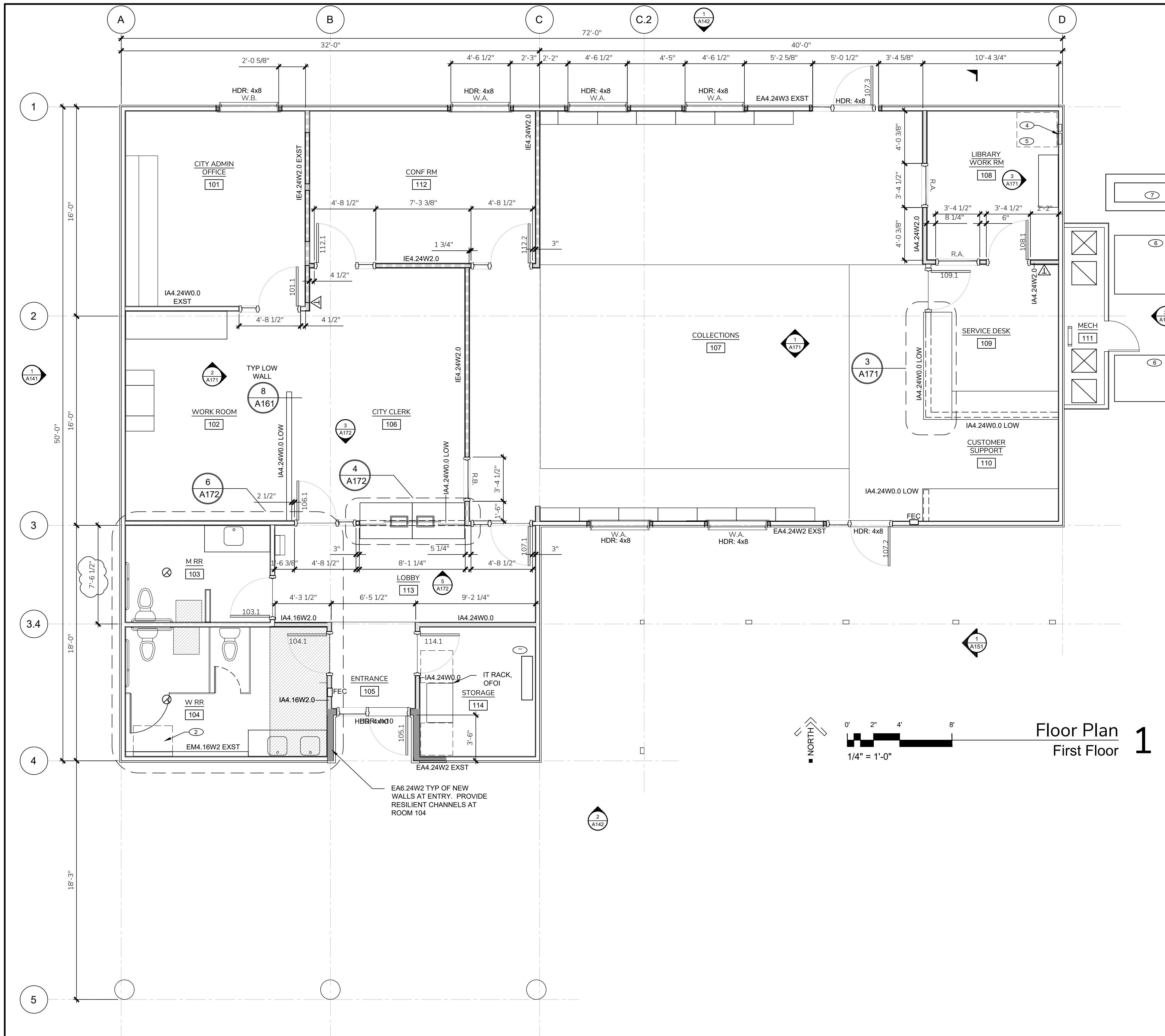
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Site Plan
A001



Floor Plan 1
First Floor

GENERAL NOTES - FLOOR PLAN

- A. SEE SHEET A112 FOR INTERIOR FINISH INFORMATION AND ADDITIONAL CASEWORK NOT SHOWN HERE.
- B. SEE SHEET A160 FOR WALL ASSEMBLIES.
- C. ATTACHMENT OF GYP BOARD ON STUDS SPACING TO BE 6d (EQUIVALENT) @ 6" O.C. AT PANEL BOUNDARIES, AND 6d (EQUIVALENT) @ 12" O.C. AT INTERMEDIATE SUPPORTS.
- D. SEE SHEET D111 FOR EXST GYP BOARD TO BE DEMO'ED. AT EXSTING WALL FRAMING WITH GYP BOARD TO BE REMOVED, PROVIDE NEW GYP BOARD.
- E. PAINT ALL NEW AND EXST GYP BOARD IN ALL SPACES.
- F. SEE DOOR SCHEDULE FOR DOOR INFORMATION NOT SHOWN HERE.
- G. HEADERS AT INTERIOR DOORS AND RELITES TO 4x8 UNLESS NOTED OTHERWISE.

WALL LEGEND - FLOOR PLAN

- NEW WALL - THERMAL INSULATION
- NEW WALL - ACOUSTIC INSULATION
- NEW WALL - NO INSULATION
- EXST FRAMING, NEW FINISH
- EXST WALL TO REMAIN

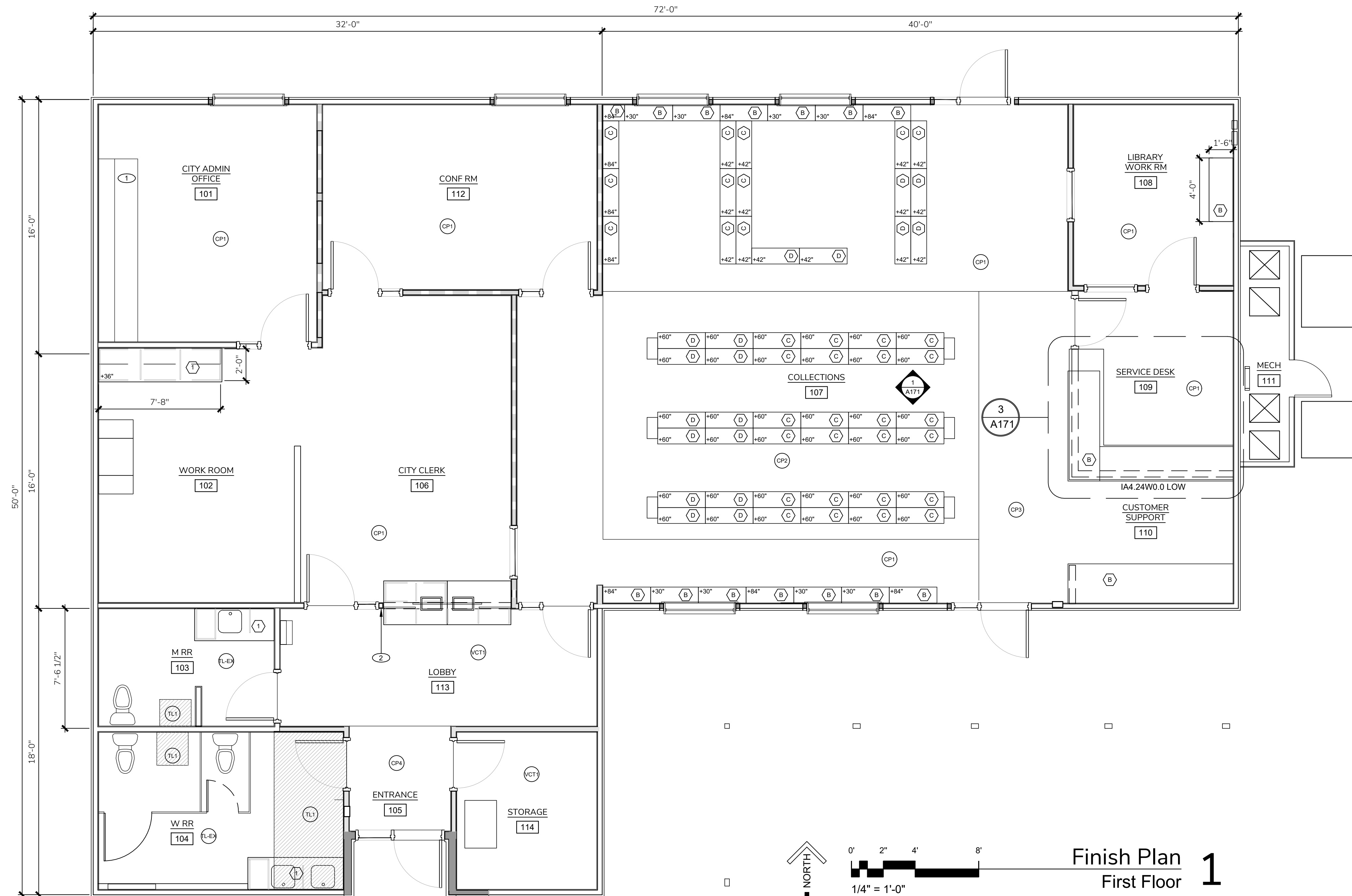
KEYNOTES - FLOOR PLAN

- 1. WHEN INTERIOR WALL FINISH ON NORTH AND SOUTH WALLS OF LIBRARY AREA ARE EXPOSED, CONFIRM STUD SIZE AND SPACING WITH ARCHITECT. STRUCTURAL DESIGN OF LATERAL SPACING IS BASED ON 2x4 STUDS @ 16" O.C.
- 2. RELOCATE DIAPER CHANGING STATION TO SOUTH WALL OF ROOM 104. VERIFY LOCATION WITH ARCHITECT. RESEARCH PRODUCT AND INSTALL PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- 3. PROVIDE 2x6 LOW WALL ALONG EXST' WALL TO ROUTE PLUMBING FROM FROM WEST CORNER OF SOUTH WALL TO NEW CASEWORK. PROVIDE 8" DEEP WALL CAP OF SAME MATERIAL, COLOR, AND THICKNESS OF COUNTER IN ROOM.
- 4. ELECTRICAL PANELS. SEE ELECTRICAL.
- 5. CLEAR FLOOR SPACE AT ELECTRICAL PANELS. 3' x WIDTH OF PANELS. DO NOT INSTALL OBSTRUCTIONS IN CLEAR FLOOR SPACE.
- 6. EXST HVAC UNIT. PROTECT. SEE MECHANICAL.
- 7. NEW HVAC UNIT W/ CONC PAD. SEE MECHANICAL.

SYMBOLS LEGEND

- ARCHITECTURAL
- IE4.24W2.0 WALL ASSEMBLY - SEE SHEET A160
 - 104.1 DOOR TYPE - SEE SHEET A180
 - W.A. WINDOW TYPE - SEE SHEET A180
 - (B) CASEWORK GROUPS
 - (CP) FLOORING TYPES
 - (3/A171) DETAIL REFERENCE
 - (1/A171) INTERIOR ELEVATION REFERENCE
 - (1/A171) EXTERIOR ELEVATION REFERENCE
 - (1) KEYNOTE REFERENCE

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GENERAL NOTES - FLOOR PLAN

- A. INSTALL FLOORING BELOW FREE-STANDING CASEWORK (NOT ATTACHED TO A WALL).
- B. CASEWORK GROUPS - BASE BID AND ALTERNATES:
GROUP A BASE BID
GROUP B ALTERNATE 4
GROUP C ALTERNATE 5
GROUP D ALTERNATE 6
- C. SEE A171 FOR LIBRARY SHELVING INFORMATION.
- D. PAINT ALL NEW AND EXISTING EXPOSED GYP BOARD.
- E. PAINT ALL WALLS PAINT COLOR 1, EXCEPT AS NOTED BELOW.

KEYNOTES - FLOOR PLAN

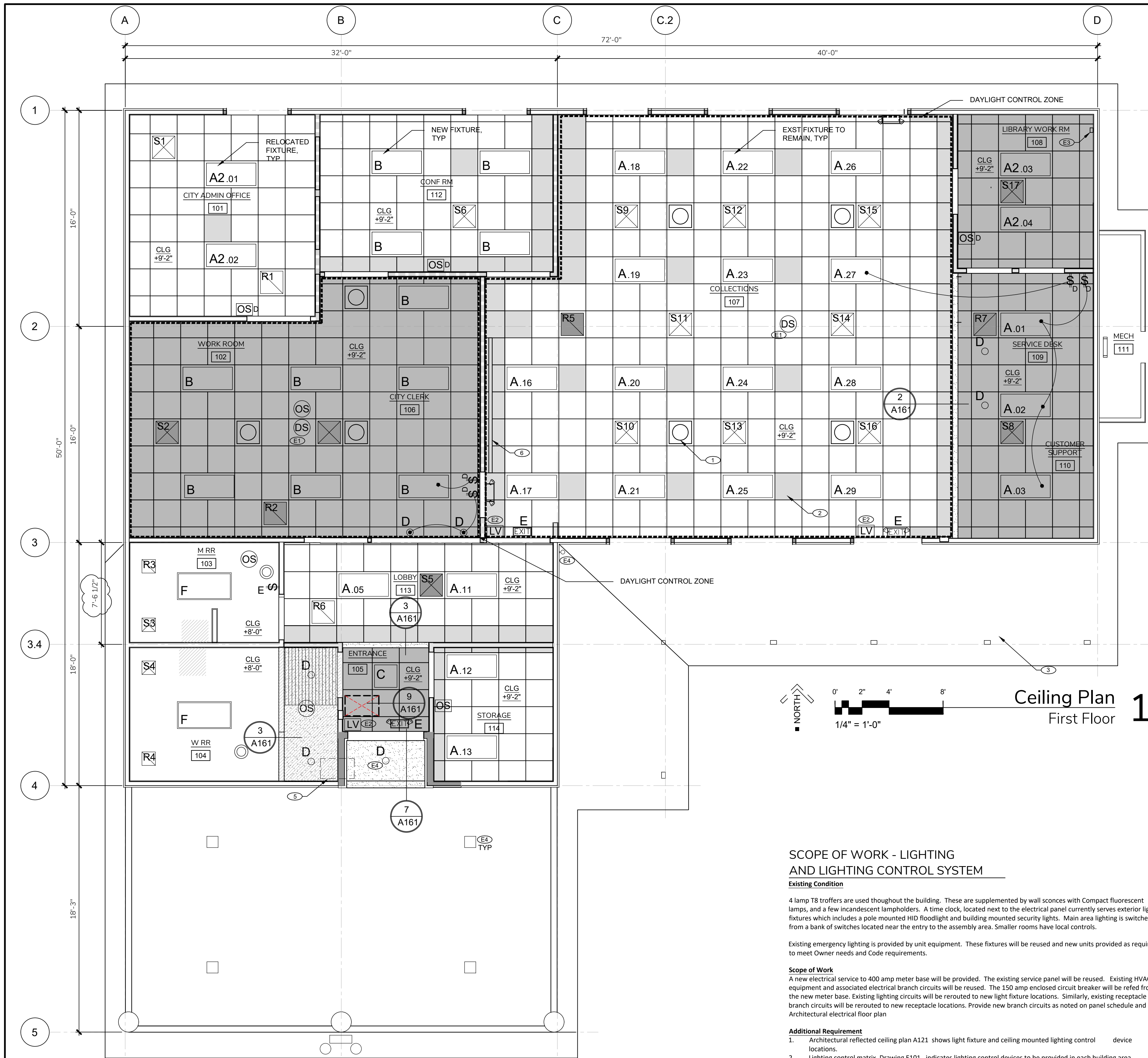
- 1. EXST CASEWORK TO REMAIN.
- 2. PAINT COLOR 2 ON THIS WALL, FLOOR TO CEILING, CORNER TO CORNER.

SYMBOLS LEGEND

- ARCHITECTURAL
- IE4.24W2.0 WALL ASSEMBLY - SEE SHEET A160
 - 104.1 DOOR TYPE - SEE SHEET A180
 - W.A. WINDOW TYPE - SEE SHEET A180
 - (B) CASEWORK GROUPS
 - (CP2) FLOORING TYPES
 - (3 A171) DETAIL REFERENCE
 - (1 A171) INTERIOR ELEVATION REFERENCE
 - (1 A171) EXTERIOR ELEVATION REFERENCE
 - (1) KEYNOTE REFERENCE

Finish Plan 1
First Floor

Bid and Permit Set
City of Lowell
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- GENERAL NOTES - CEILING PLAN**
- A. SEE SHEET E101 FOR LIGHT FIXTURE SCHEDULE AND SHEET E102 FOR LIGHTING CONTROL MATRIX.
 - B. SALVAGE ALL WHOLE, UNDAMAGED CEILING TILE SCHEDULE TO BE REMOVED. SORT BY QUALITY OF APPEARANCE AND STORE ON SITE IN AREA PROTECTED BY CONSTRUCTION ACTIVITY. PRIOR TO INSTALLING SALVAGED TILE, REVIEW TILE WITH ARCHITECT AND PLAN FOR HOW TO SELECT WHICH TILES TO INSTALL IN EACH LOCATION.
 - C. PROTECT AND SUPPORT EXISTING CEILING TILE AND GRID SCHEDULED TO REMAIN IN PLACE.

- KEYNOTES - CEILING PLAN**
1. REPLACE VOID WHERE CEILING-MOUNTED SPEAKER WAS REMOVED WITH SALVAGED TILE.
 2. LOCATE TUBULAR SKYLIGHTS AS SHOWN ON THE CEILING PLAN CENTERED THROUGH CEILING TILE. COORDINATE ROUTING THROUGH EXISTING STRUCTURE. REVIEW PLACEMENT OF EACH SKYLIGHT WITH ARCHITECTURE PRIOR TO PENETRATING EXST ROOFING TO CONFIRM THERE IS SUFFICIENT CLEARANCE FROM EXST STRUCTURE TO PENETRATE THE CENTER OF THE CEILING TILE. IF NOT, IDENTIFY ALTERNATE LOCATIONS. MAINTAIN CLEAN, ORGANIZED LAYOUT, AND SEPARATE FROM LIGHTS TO THE FULLEST EXTENT POSSIBLE.
 3. PAINT THE EXPOSED SOFFIT AND ROOF STRUCTURE ALL AROUND THE BUILDING.
 4. THE SUB-NUMBER ON LIGHT FIXTURES A AND A2 ARE UNIQUE TO EACH EXST LIGHT. SEE DEMO PLAN FOR EXST FIXTURES TO BE REMOVED. THE FIXTURES HERE WITH A CORRESPONDING NUMBER IN A DIFFERENT LOCATION INDICATE A RELOCATED FIXTURE.
 5. PROVIDE 2x6 FRAMING @ 16" O.C. TO FILL OPENING WITH NEW LEDGER ALL AROUND. SECURE 3/4" PLYWOOD ALL ACROSS TOP.
 6. RELOCATE RECESSED PROJECTION SCREEN. COORDINATE POWER REQUIREMENTS WITH ELECTRICAL.

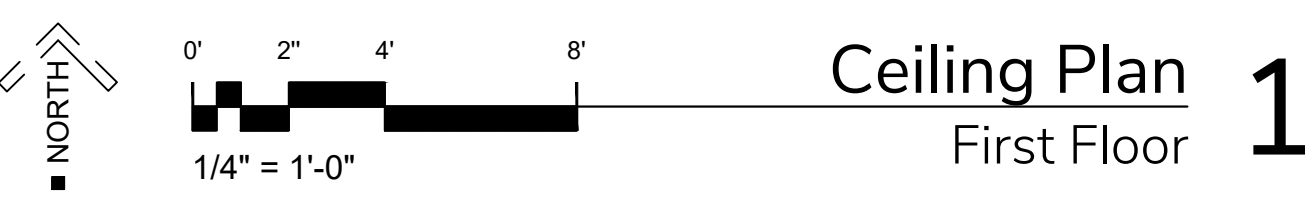
- LIGHTING NOTES**
- E1. INSTALL ONE ZONE DAYLIGHT SENSOR TO CONTROL TYPE A LIGHT FIXTURES. TYPE A LIGHT FIXTURES IN DAYLIGHT ZONE. RUN 1-10VDC TO NEW TLED DRIVERS AS REQUIRED.
 - E2. NEW LIGHTING CONTROL ENTRY STATION WITH LOW VOLTAGE INPUT TO RELAY PANEL.
 - E3. REPLACE EXISTING TIME CLOCK WITH 4 ZONE, FLUSH MOUNTED RELAY PANEL. SEE RELAY PANEL SCHEDULE.
 - E4. CONNECT NEW AND EXST EXTERIOR LIGHT FIXTURE TO NEW RELAY PANEL.

LIGHT FIXTURE AND CONTROLS LEGEND

- FIXTURE A, A2, B
2x4
NEW, RELOCATED, OR EXISTING
- FIXTURE F
2x4
EXISTING
- FIXTURE C
2x2
NEW
- FIXTURE D
RECESSED CAN
NEW
- FIXTURE E
EXIT SIGN WITH EMERGENCY LIGHT
NEW OR RELOCATED
- FIXTURE F
EMERGENCY LIGHT
NEW OR RELOCATED
- WALL-MOUNTED DIMMER SWITCH
EXISTING TO DEMO OR RELOCATE
- EXISTING SWITCH
- DEMO SWITCH
- LOW VOLTAGE SWITCH STATION
- SINGLE ZONE DAYLIGHT SWITCH
- WALL-MOUNTED OCCUPANCY SENSOR
- WALL-MOUNTED OCCUPANCY SENSOR WITH DIMMER SWITCH
- CEILING-MOUNTED OCCUPANCY SENSOR

CEILING LEGEND

- ACT CEILING SYSTEM A1
• EXISTING GRID
• EXISTING CEILING TILE
- GYP CEILING SYSTEM G1
• EXISTING CEILING FRAMING
• EXISTING GYP BRD. PAINT
- ACT CEILING SYSTEM A2
• NEW GRID
• NEW CEILING TILE
- ACT CEILING SYSTEM A3
• EXISTING GRID
• NEW CEILING TILE
- ACT CEILING SYSTEM A4
• EXISTING GRID
• RELOCATED CEILING TILE
- GYP CEILING SYSTEM G2
• EXISTING CEILING FRAMING
• NEW GYP BRD. PAINT
- GYP CEILING SYSTEM G3
• NEW CEILING FRAMING
• NEW GYP BRD. PAINT
- TUBULAR SKYLIGHT
- EXISTING CEILING-MOUNTED SPEAKER



Ceiling Plan 1
First Floor

SCOPE OF WORK - LIGHTING AND LIGHTING CONTROL SYSTEM

Existing Condition

4 lamp T8 troffers are used throughout the building. These are supplemented by wall sconces with Compact fluorescent lamps, and a few incandescent lampholders. A time clock, located next to the electrical panel currently serves exterior light fixtures which includes a pole mounted HID floodlight and building mounted security lights. Main area lighting is switched from a bank of switches located near the entry to the assembly area. Smaller rooms have local controls.

Existing emergency lighting is provided by unit equipment. These fixtures will be reused and new units provided as required to meet Owner needs and Code requirements.

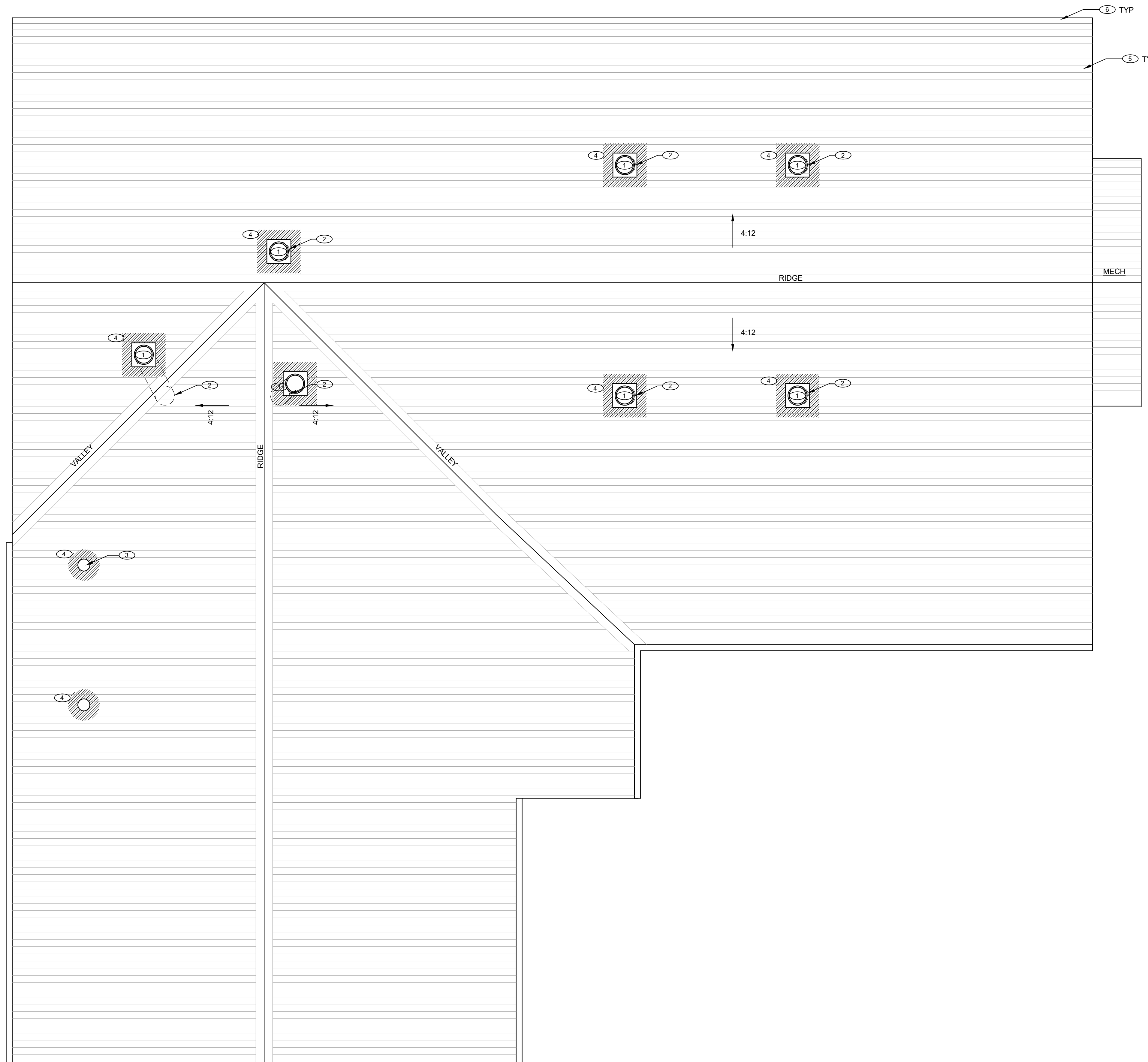
Scope of Work

A new electrical service to 400 amp meter base will be provided. The existing service panel will be reused. Existing HVAC equipment and associated electrical branch circuits will be reused. The 150 amp enclosed circuit breaker will be refed from the new meter base. Existing lighting circuits will be rerouted to new light fixture locations. Similarly, existing receptacle branch circuits will be rerouted to new receptacle locations. Provide new branch circuits as noted on panel schedule and Architectural electrical floor plan

Additional Requirement

1. Architectural reflected ceiling plan A121 shows light fixture and ceiling mounted lighting control device locations.
2. Lighting control matrix, Drawing E101, indicates lighting control devices to be provided in each building area.
3. Demolition plan D111 shows walls that will be removed and remain in place.
4. Demolition plan D121 show ceilings and light fixtures that will be removed and remain in place.
5. Specification section 262726 describes requirements at new and existing switches and lighting control devices.
6. Specification section 265000 describes light fixture installation requirements.
7. Lighting relay panel, Drawing E101, indicates lighting control zones with programmed control.
8. Light fixture schedule, Drawing E101 describes work at new and existing light fixtures.





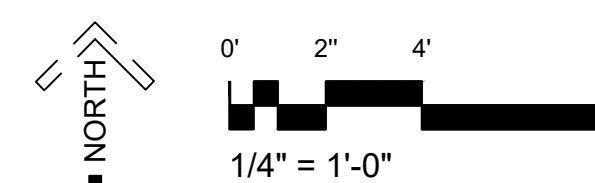
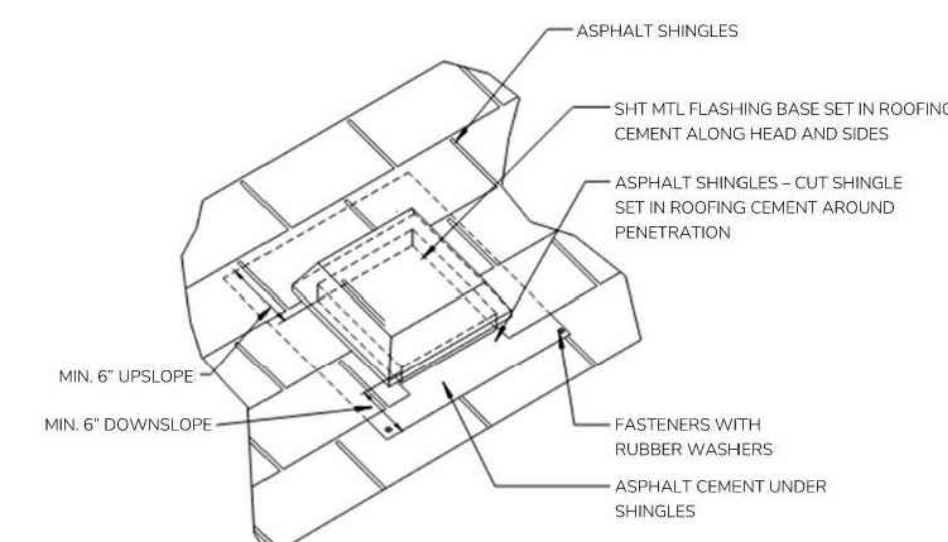
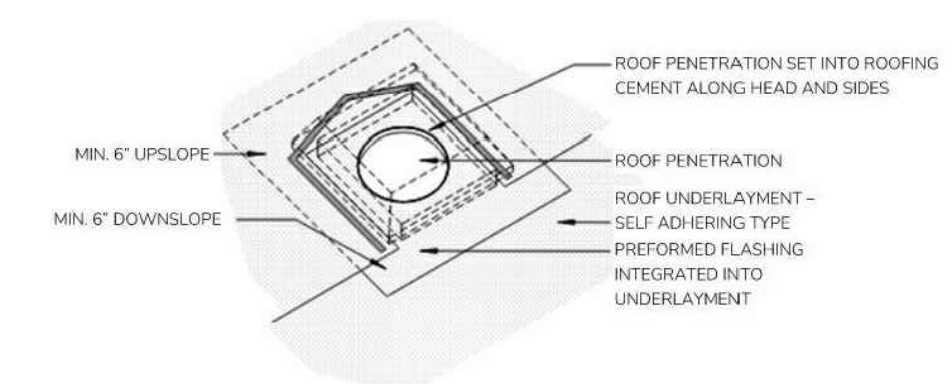
GENERAL NOTES - ROOF PLAN

- A. NEW ELEMENTS ADDED TO THE ROOF ARE SHOWN IN APPROXIMATE LOCATIONS. FIELD VERIFY EXST ROOF FRAMING AND LOCATION(S) OF EXST FLASHING ELEMENTS IN ROOFING. LOCATE NEW ELEMENTS TO AVOID ROOF FRAMING AND ROOF FLASHING AND POSITION TO MAINTAIN LOCATIONS SHOWN IN CONCEPT ON THESE DRAWINGS. FIELD VERIFY LOCATIONS WITH ARCHITECT PRIOR TO CUTTING HOLES IN, NOR REMOVING ROOFING.
- B. EXST ROOFING TO REMAIN, EXCEPT AS NEEDED TO INSTALL AND PROPERLY FLASH NEW WORK.
- C. FIELD VERIFY EXISTING SHINGLES, AND MATCH WITH NEW SHINGLES OF SAME OR GREATER THICKNESS AND SAME COLOR. FOR BASIS OF BID, ASSUME "TIMBERLINE HDZ" BY GAF.
- D. ROOF PENETRATION AXON SHOWN ARE APPROXIMATE. ADJUST FOR ACTUAL CONDITIONS. THE INTENT IS TO DESCRIBE FLASHING LAYERS AROUND PENETRATIONS. APPLY TO ALL NEW PENETRATIONS ON THIS SHEET.

GENERAL NOTES - ROOF PLAN

- 1. TUBULAR SKYLIGHT. POSITION SHOWN AT ROOF LEVEL. FIELD VERIFY AND CONFIRM WITH ARCHITECT.
- 2. TUBULAR SKYLIGHT ROUTING THROUGH ATTIC TO CEILING PENETRATION. FIELD VERIFY AND CONFIRM WITH ARCHITECT.
- 3. EXHAUST FAN. SEE MECHANICAL. FIELD VERIFY AND CONFIRM WITH ARCHITECT.
- 4. APPROXIMATE EXTENT OF ROOF FLASHING AT PENETRATION. SEE DIAGRAMS THIS SHEET FOR MORE INFORMATION.
- 5. EXST ROOF SHINGLES TO REMAIN.
- 6. EXST SHEET METAL GUTTER TO REMAIN.

NOTES:
1. THIS DETAIL IS CONCEPTUAL AND DESCRIBES DESIGN INTENT. IT DOES NOT PURPORT TO SHOW ALL CONDITIONS.



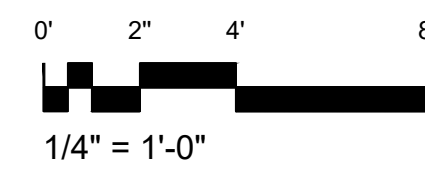
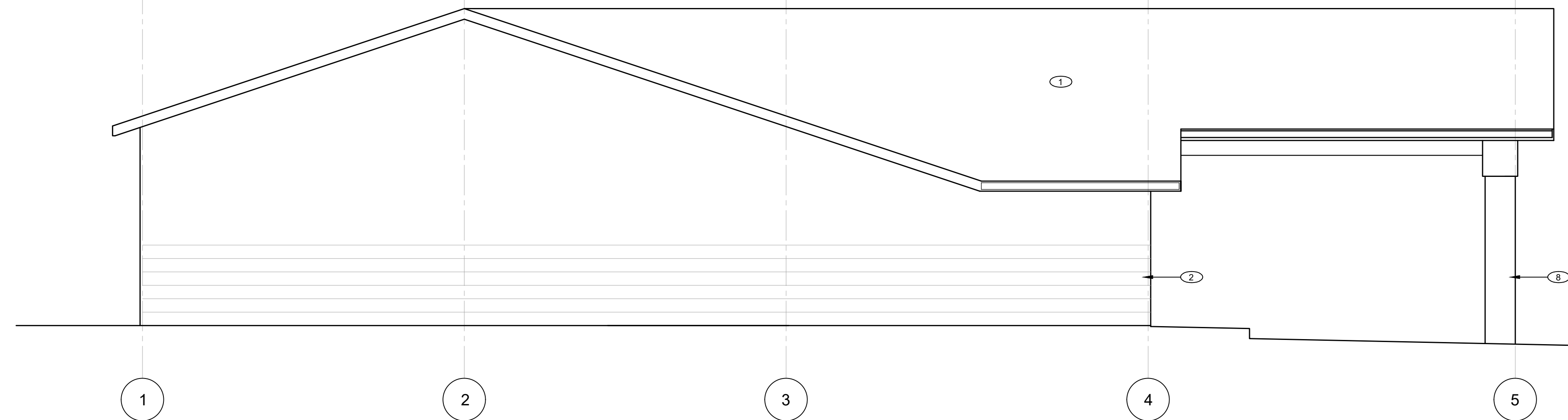
Roof Plan **2**

Roof Penetration Flash'g **1**
NTS Axon

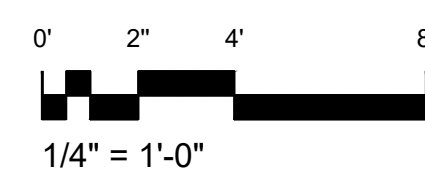
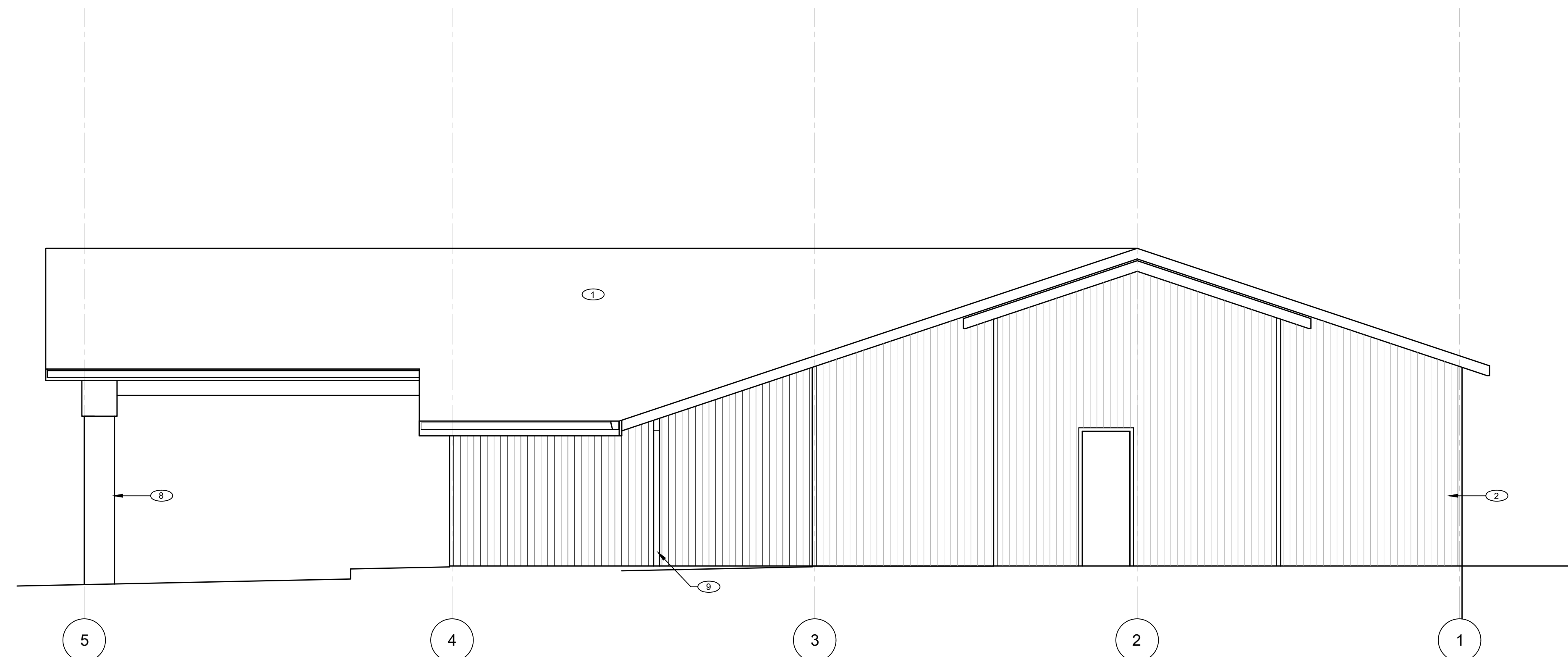
PROJECT: 21031
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Roof Plan

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City of Lowell
Maggie Osgood Library and
City Hall Renovation



Elevation 1
West



Elevation 2
East

GENERAL NOTES - ELEVATIONS

- A. EXISTING CONDITIONS SHOWN AND EXISTING MATERIALS REPRESENTED ARE APPROXIMATE. FIELD VERIFY DURING BID PERIOD.
- B. PAINT ALL NEW WOOD TRIM AND FIBER-CEMENT SIDING. FIELD PAINT ALL EXST AND RECOATED PREVIOUSLY-PAINTED SIDING AND TRIM.
- C. REMOVE EXST SIDING AND TRIM MATERIAL 3" BEYOND ROUGH-OPENING OF NEW DOOR OR WINDOW MATERIAL. TAKE CARE TO LEAVE 2" OF EXISTING BUILDING PAPER BELOW EXISTING SIDING EXPOSED.
- D. PREPARE NEW ROUGH OPENING FOR DOOR OR WINDOW. WRAP OPENING OVER EXST BUILDING PAPER WITH FLEXIBLE FABRIC.
- E. PROVIDE SHEET METAL "Z" FLASHING AT TOP OF NEW OPENING, OVER NEW TRIM, MIN 2" LEG UP AND 3/4" DOWN. HORIZONTAL LEG AS REQUIRED. TUCK VERTICAL LEG UP BEHIND EXST BUILDING PAPER.
- F. REMOVE EXST FRAMING MEMBERS, INCLUDING KING STUD, CRIPPLE STUD AND HEADER FROM INTERIOR.
- G. FILL ALL GAPS AROUND NEW ROUGH OPENING AND ADJACENT FRAMING WITH EXPANDED FOAM SEALANT AND/OR BATT INSULATION.
- H. EXST AND NEW ELECTRICAL EQUIPMENT NOT SHOWN. SEE ELECTRICAL. SEAL ANY PREPARATIONS PRIOR TO PAINTING.

KEYNOTES - ELEVATIONS

- 1. EXST ROOFING.
- 2. EXST SIDING TO REMAIN.
- 3. DEMO EXST SIDING TO ACCOMMODATE NEW WORK. SALVAGE FOR REUSE TO MATCH EXISTING SIDING WHERE NECESSARY.
- 4. NEW EXTERIOR WINDOW.
- 5. NEW EXTERIOR DOOR.
- 6. NEW 1"x5 1/2" FIBER-CEMENT TRIM ALL AROUND NEW WORK. THE INTENT IS TO CONCEAL ALL NEW WORK AT EXTERIOR.
- 7. PROVIDE FIBER-CEMENT SIDING, 5" EXPOSURE AT NEW EXTERIOR WALLS AT RECESSED ENTRY.
- 8. EXST CONCRETE COLUMNS.
- 9. EXST WOOD COLUMNS.
- 10. DEMO EXST DOOR. PREP OPENING FOR NEW DOOR ASSEMBLY.
- 11. PROVIDE SIDING TO MATCH EXST AT INFILL AT DEMO'D DOOR LOCATION.

Bid and Permit Set

City of Lowell

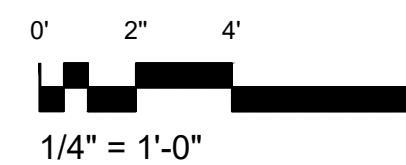
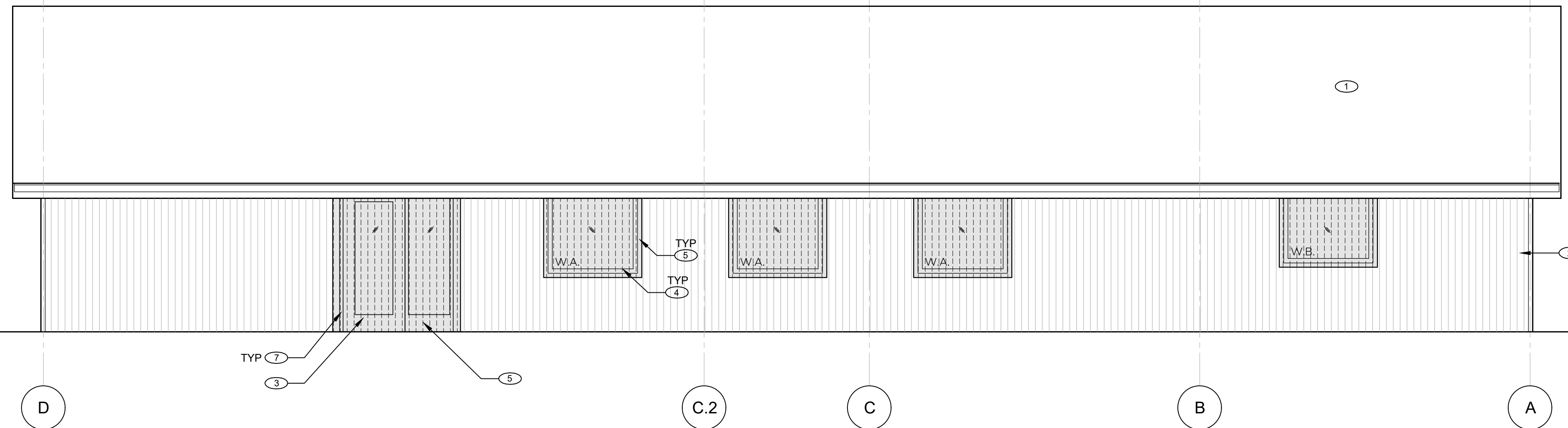
Maggie Osgood Library and
City Hall Renovation

Elevations

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Elevation North 1

GENERAL NOTES - ELEVATIONS

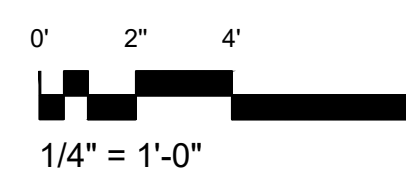
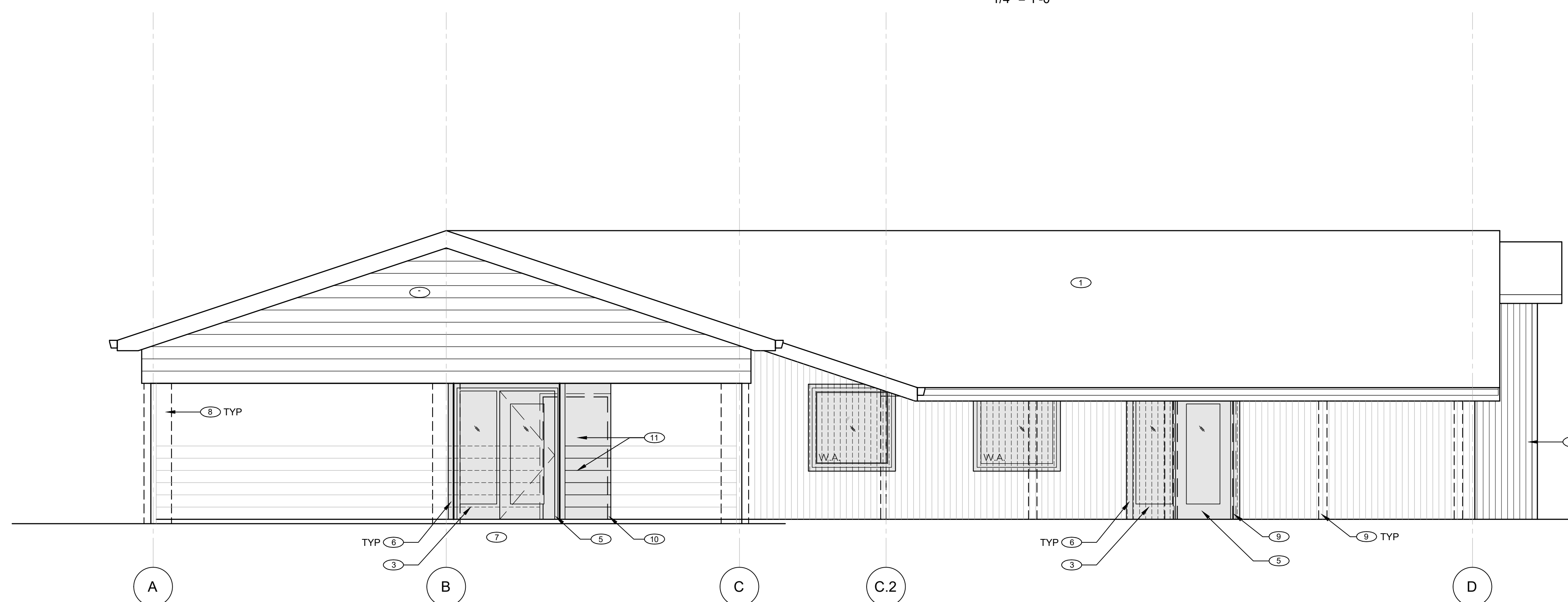
- A. EXISTING CONDITIONS SHOWN AND EXISTING MATERIALS REPRESENTED ARE APPROXIMATE. FIELD VERIFY DURING BID PERIOD.
- B. PAINT ALL NEW WOOD TRIM AND FIBER-CEMENT SIDING. FIELD PAINT ALL EXST AND RELCOATED PREVIOUSLY-PAINTED SIDING AND TRIM.
- C. REMOVE EXST SIDING AND TRIM MATERIAL 3" BEYOND ROUGH-OPENING OF NEW DOOR OR WINDOW MATERIAL. TAKE CARE TO LEAVE 2" OF EXISTING BUILDING PAPER BELOW EXISTING SIDING EXPOSED.
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- F. REMOVE EXST FRAMING MEMBERS, INCLUDING KING STUD, CRIPPLE STUD AND HEADER FROM INTERIOR.
- G. FILL ALL GAPS AROUND NEW ROUGH OPENING AND ADJACENT FRAMING WITH EXPANDED FOAM SEALANT AND/OR BATT INSULATION.
- H. EXST AND NEW ELECTRICAL EQUIPMENT NOT SHOWN. SEE ELECTRICAL. SEAL ANY PREPARATIONS PRIOR TO PAINTING.

KEYNOTES - ELEVATIONS

- 1. EXST ROOFING.
- 2. EXST SIDING TO REMAIN.
- 3. DEMO EXST SIDING TO ACCOMMODATE NEW WORK. SALVAGE FOR REUSE TO MATCH EXISTING SIDING WHERE NECESSARY.
- 4. NEW EXTERIOR WINDOW.
- 5. NEW EXTERIOR DOOR.
- 6. NEW 1"x5 1/2" FIBER-CEMENT TRIM ALL AROUND NEW WORK. THE INTENT IS TO CONCEAL ALL NEW WORK AT EXTERIOR.
- 7. PROVIDE FIBER-CEMENT SIDING, 5" EXPOSURE AT NEW EXTERIOR WALLS AT RECESSED ENTRY.
- 8. EXST CONCRETE COLUMNS.
- 9. EXST WOOD COLUMNS.
- 10. DEMO EXST DOOR. PREP OPENING FOR NEW DOOR ASSEMBLY.
- 11. PROVIDE SIDING TO MATCH EXST AT INFILL AT DEMO'D DOOR LOCATION.

WINDOW TYPES

TYPE W.A. - 4'-0" x 4'-0", FIXED
TYPE W.B. - 4'-0" x 3'-6", FIXED



Elevation South 2

NOTE: EXST COLUMNS ARE SHOWN DASHED.

Bid and Permit Set

City of Lowell

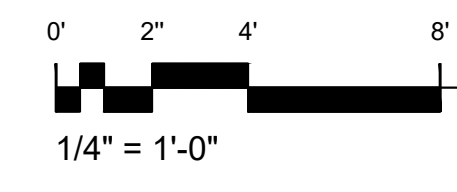
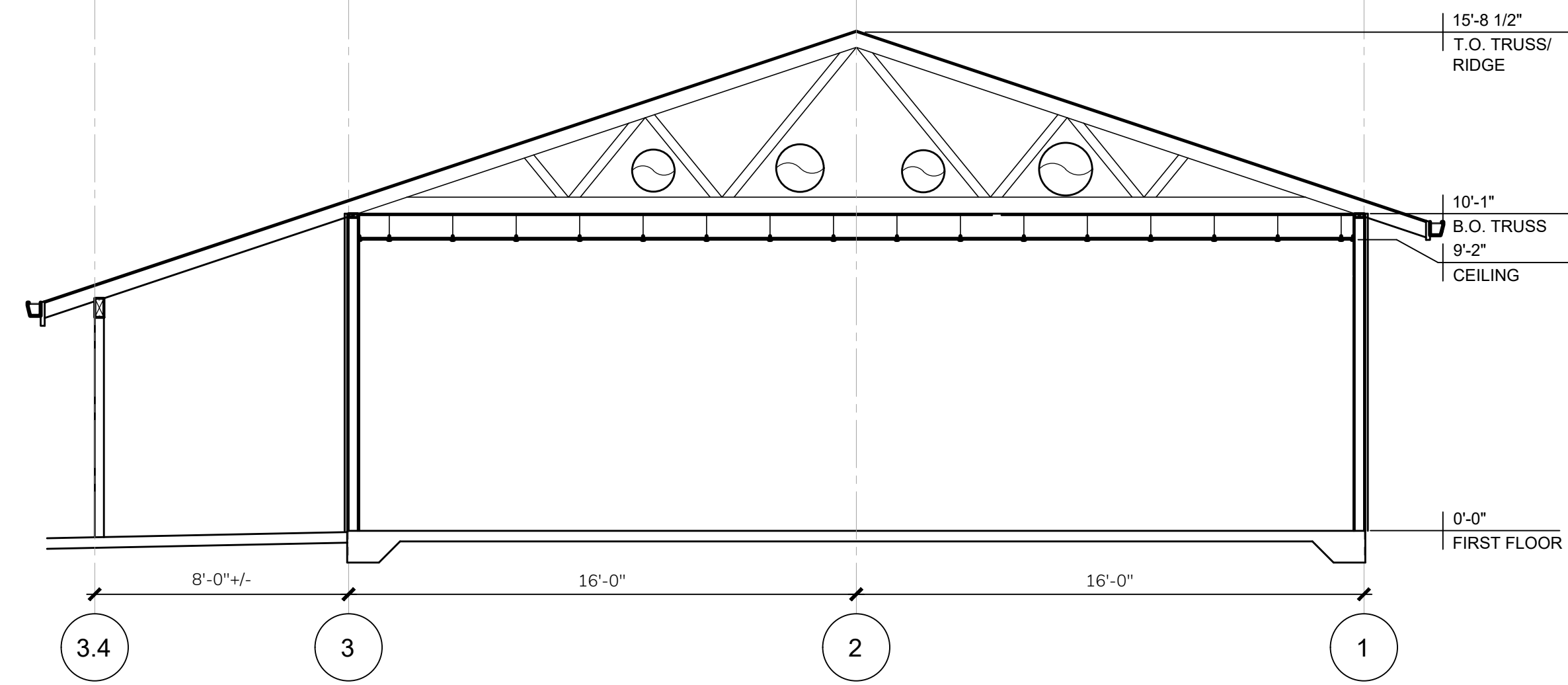
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City Hall Renovation

Elevations

PROJECT: 21031

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N-S Section 1
Thru Original Building

Bid and Permit Set
City of Lowell
Maggie Osgood Library and
City Hall Renovation

Sections

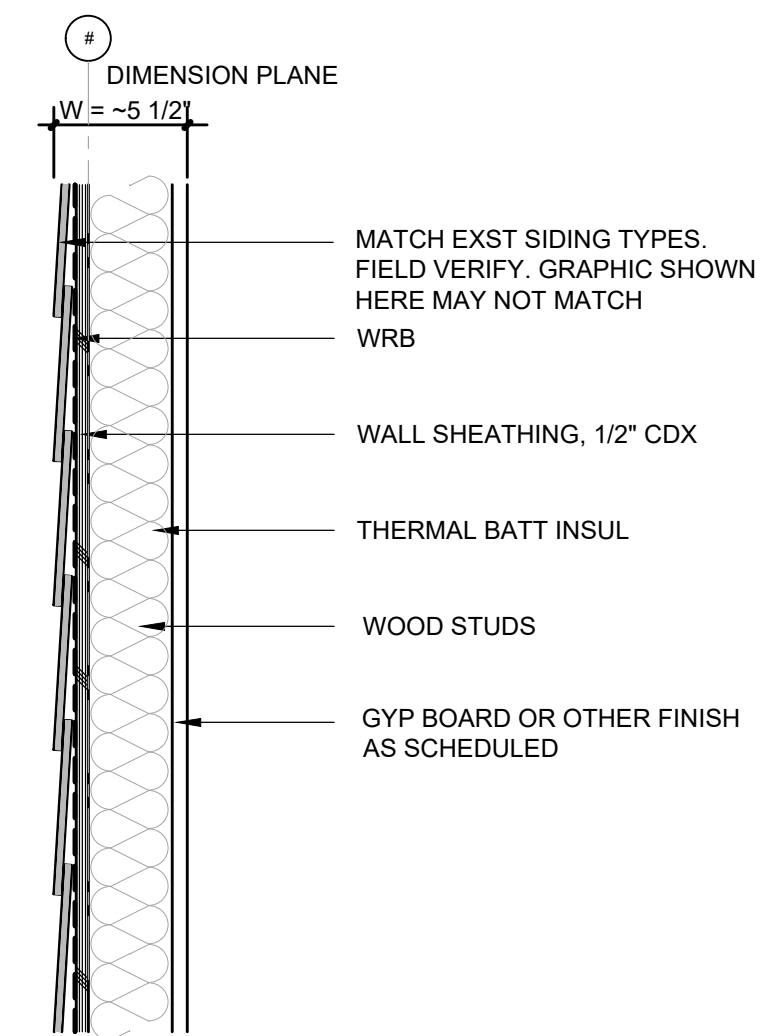
PROJECT: 21031
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STUD SIZE & SPACING
STUD SIZE SPACING
4.24 2x4 3 1/2" 24" O.C.

SIDING TYPE
2 MATCH EXST SIDING TYPES

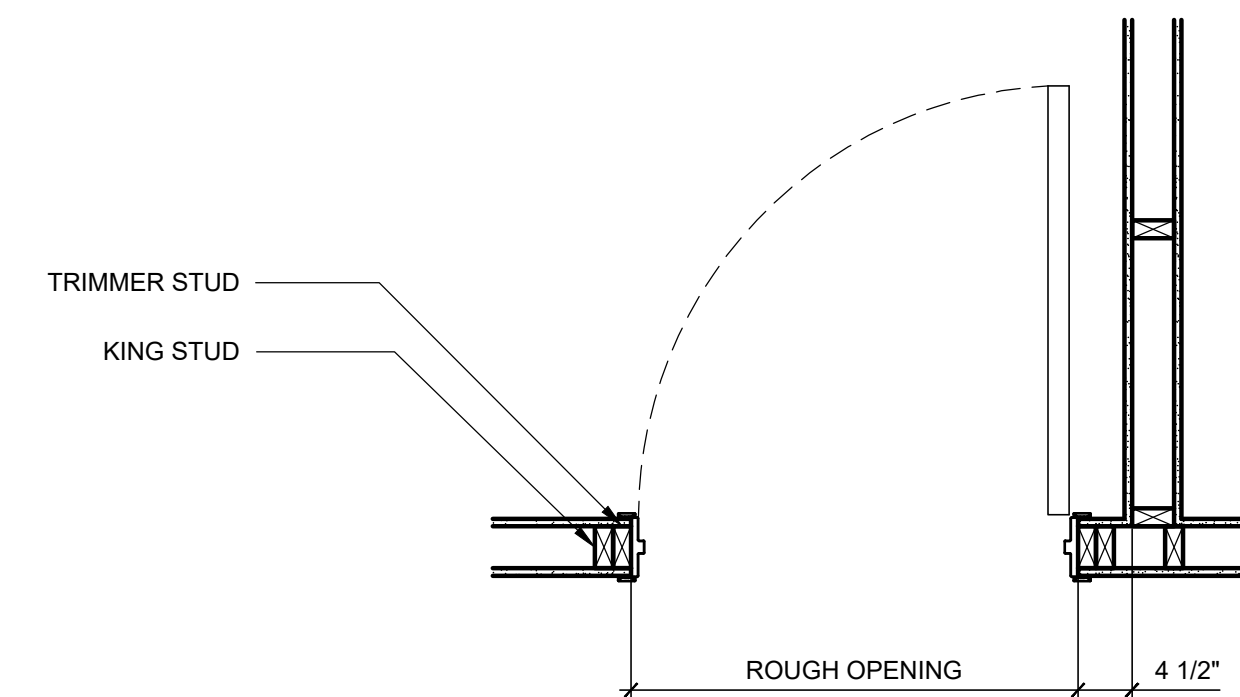
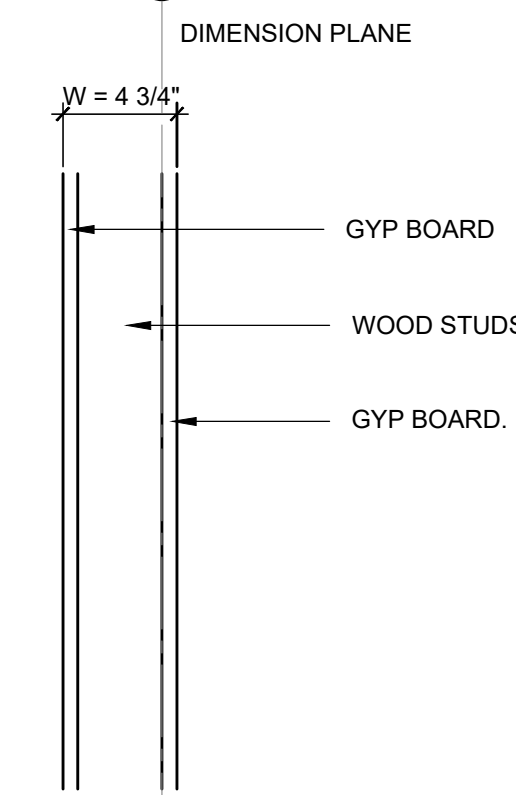
NOTE: THIS IS AN INFILL CONDITION. VERIFY EXST COMPONENTS AND MODIFY AS NECESSARY. SET FRAMING SO THAT FINISHES ALIGN WITH EXST.



STUD SIZE & SPACING
STUD SIZE SPACING
4.24 2x4 3 1/2" 24" O.C.

WALL CORE ELEMENT
0 NONE

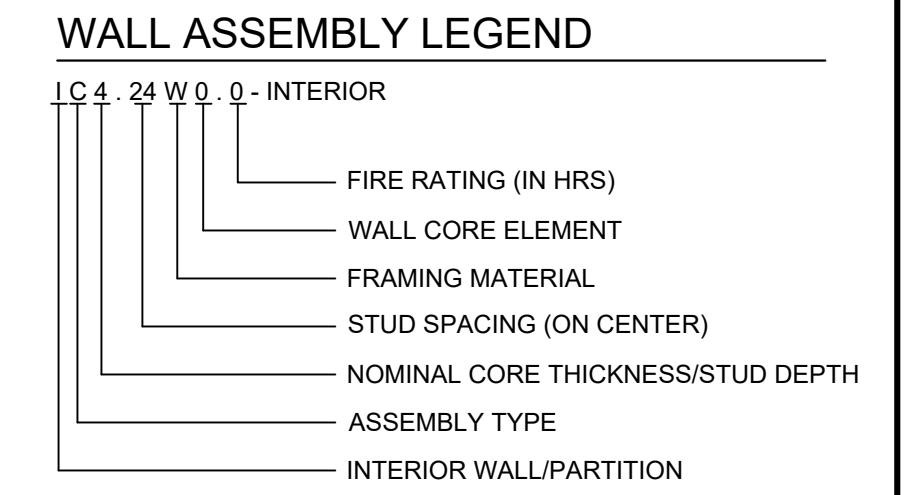
FIRE RATING
.0 NOT RATED



10 EXTERIOR WALL ASSEMBLY **EA4.24W2-EXST** **7**
1 1/2" = 1'-0" INFILL - WD STUD - EXST SIDING

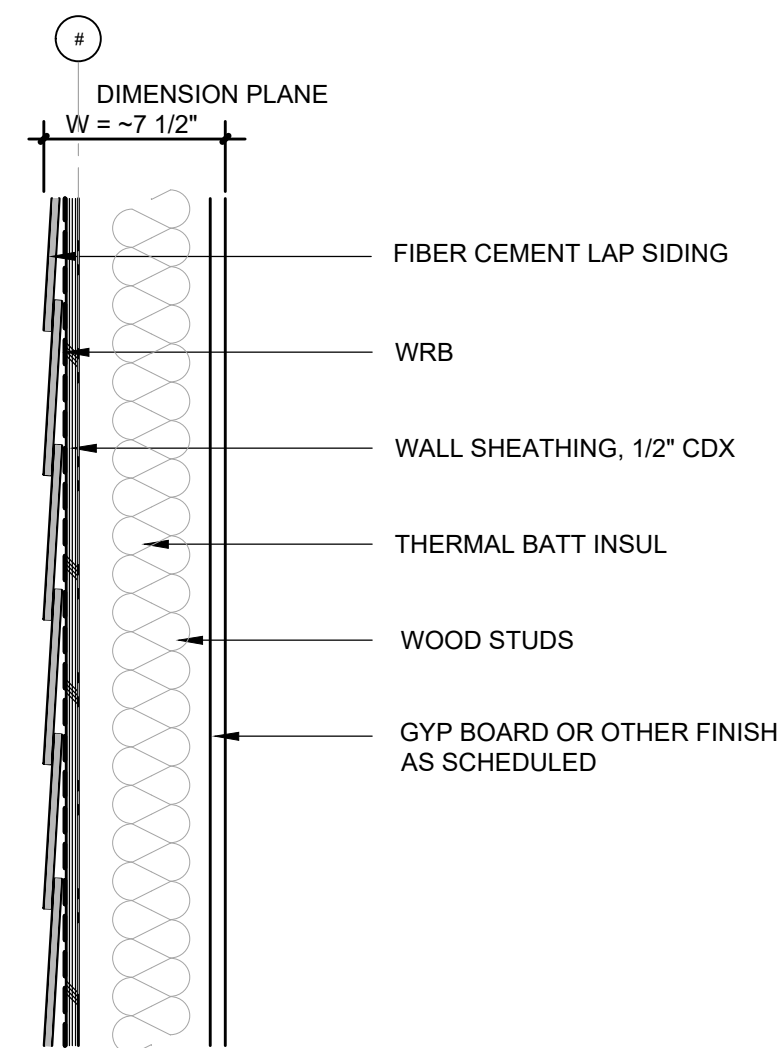
INTERIOR WALL ASSEMBLY **IA4.24W0.0** **4**
1 1/2" = 1'-0" WD STUD - GYP BOARD

Door Opening at Intersection Walls **1**
3/4" = 1'-0" Plan



STUD SIZE & SPACING
STUD SIZE SPACING
6.24 2x6 5 1/2" 24" O.C.

SIDING TYPE
1 FIBER CEMENT LAP SIDING

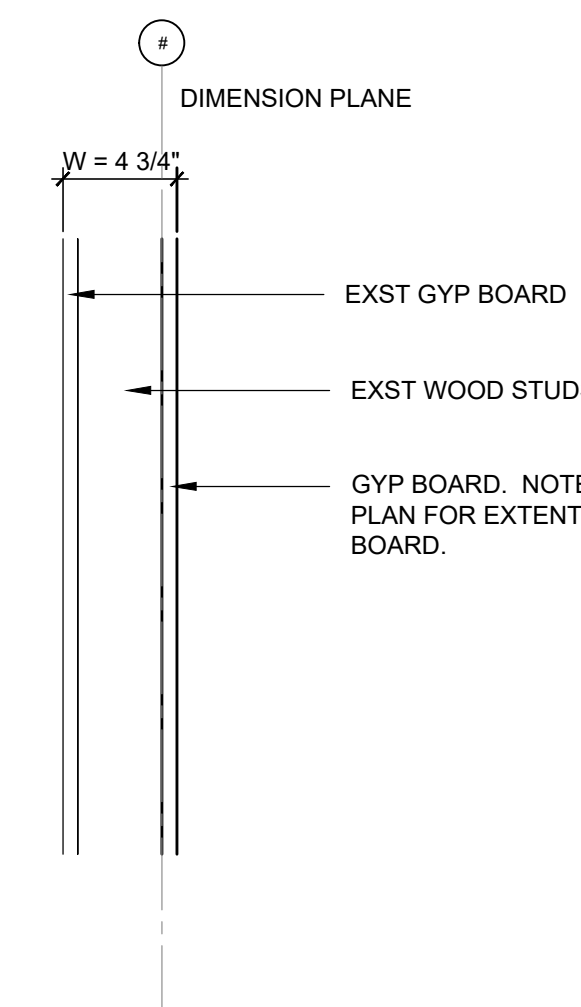


STUD SIZE & SPACING
STUD SIZE SPACING
4.24 2x4 3 1/2" 24" O.C.

WALL CORE ELEMENT
0 NONE

FIRE RATING
.0 NOT RATED

NOTE: SEE D111 FOR EXTENT OF DEMO.

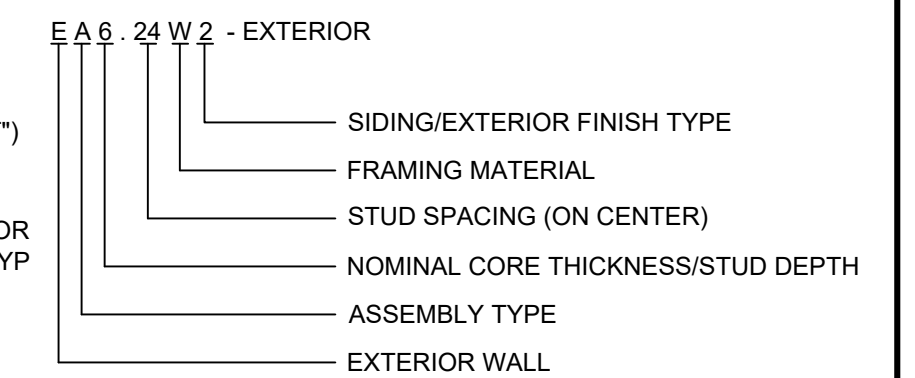
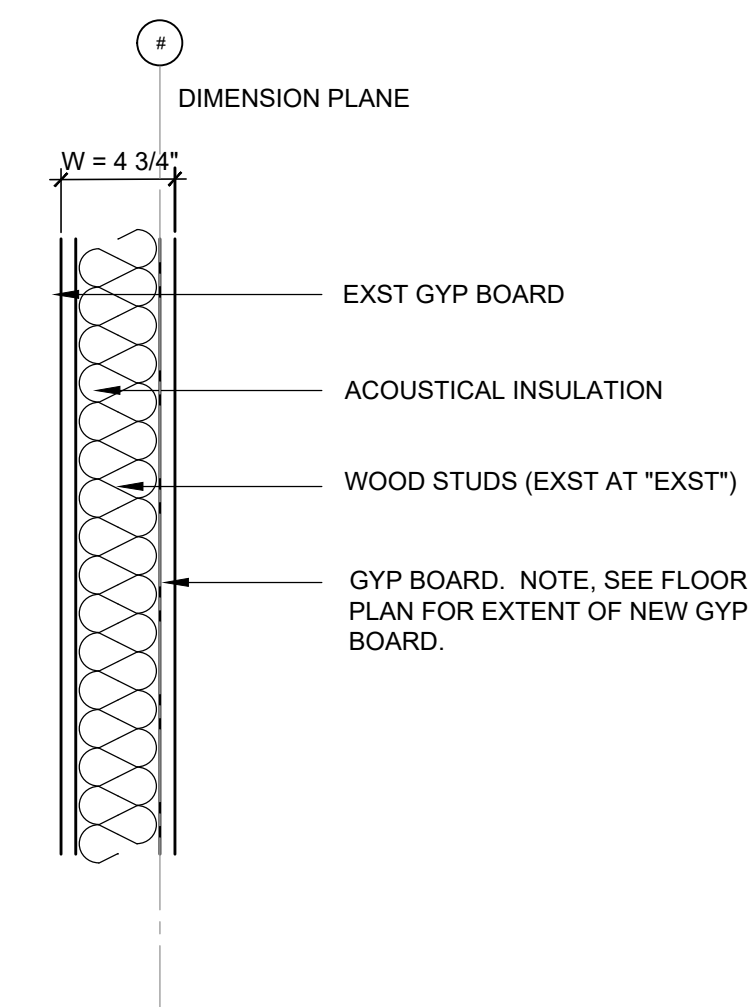


STUD SIZE & SPACING
STUD SIZE SPACING
4.16 2x4 3 1/2" 16" O.C.

WALL CORE ELEMENT
2 ACOUSTIC INSULATION

FIRE RATING
.0 NOT RATED

NOTE: SEE D111 FOR EXTENT OF DEMO.



11 EXTERIOR WALL ASSEMBLY **EA6.24W1** **8**
1 1/2" = 1'-0" WD STUD - LAP SIDING

INTERIOR WALL ASSEMBLY **IA4.24W0.0-EXST** **5**
1 1/2" = 1'-0" EXST WD STUD - GYP BOARD

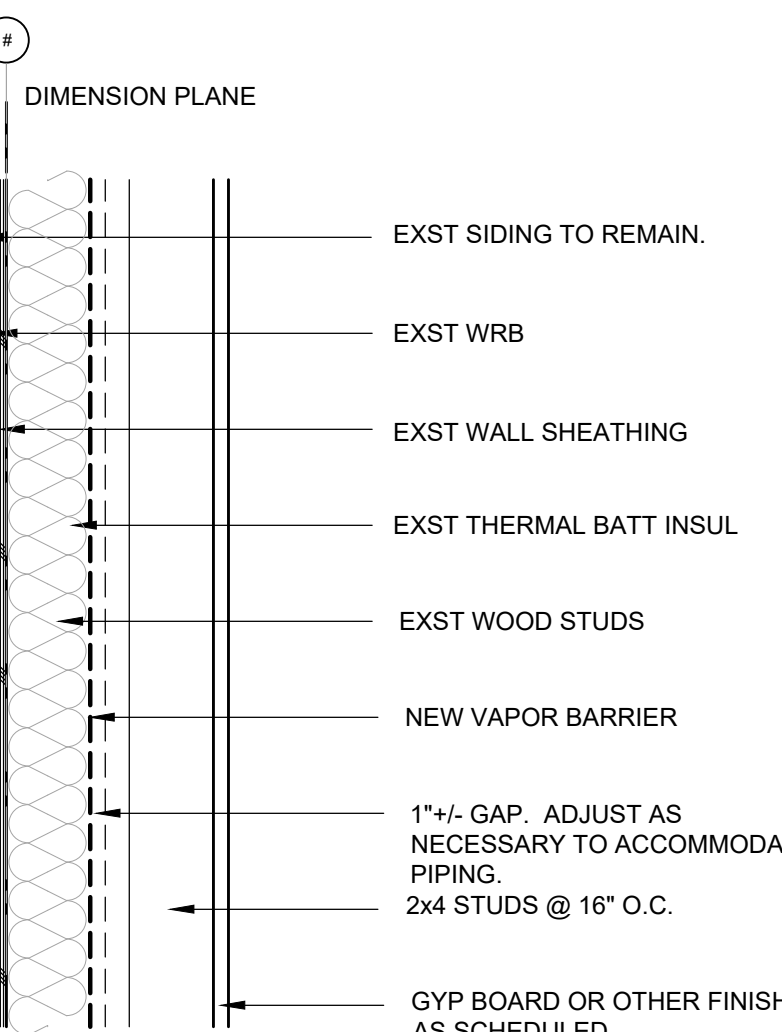
INTERIOR WALL ASSEMBLY **IA4.16W2.0** **2**
1 1/2" = 1'-0" WD STUD - GYP BOARD - ACOUSTIC

STUD SIZE & SPACING
STUD SIZE SPACING
4.16 2x4 3 1/2" 16" O.C.

SIDING TYPE
2 EXST SIDING

NOTE: TERMINATE NEW WALL AT COUNTER HEIGHT.

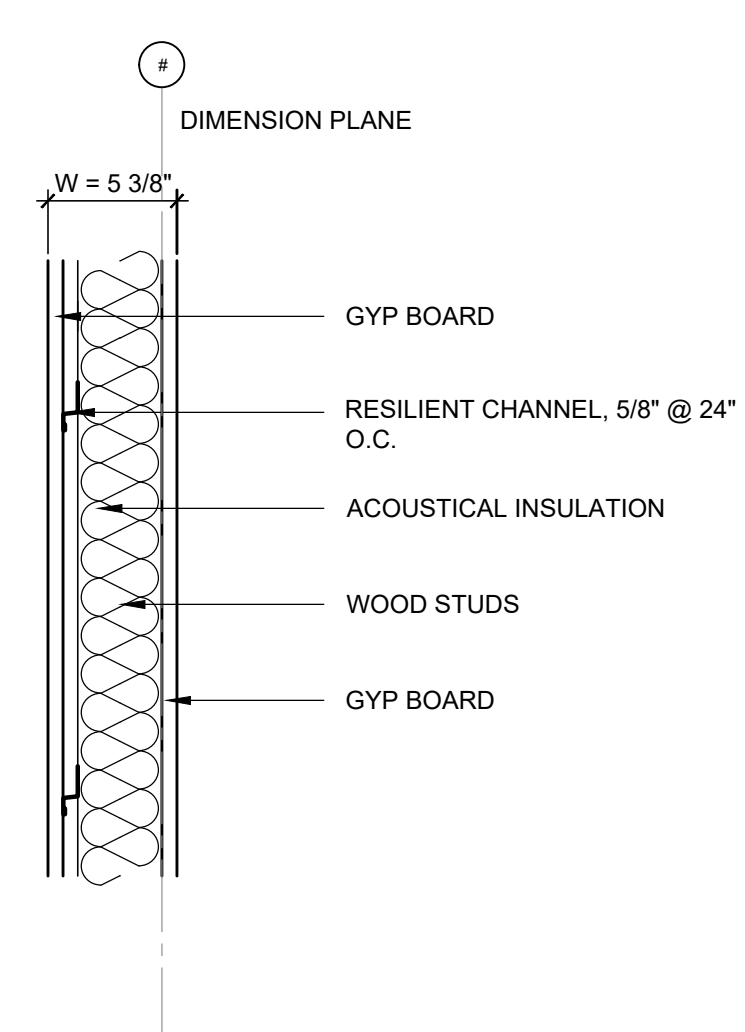
NOTE: THE PURPOSE OF THE NEW WALL IS TO ROUTE NEW PLUMBING FROM EXST TO NEW SINK. INSTALL VAPOR BARRIER AFTER PLUMBING INSTALLED.



STUD SIZE & SPACING
STUD SIZE SPACING
4.24 2x4 3 1/2" 24" O.C.

WALL CORE ELEMENT
2 ACOUSTIC INSULATION

FIRE RATING
.0 NOT RATED

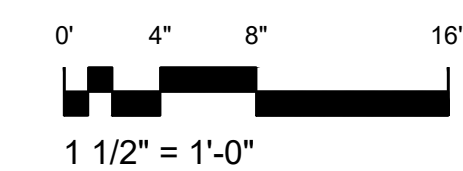
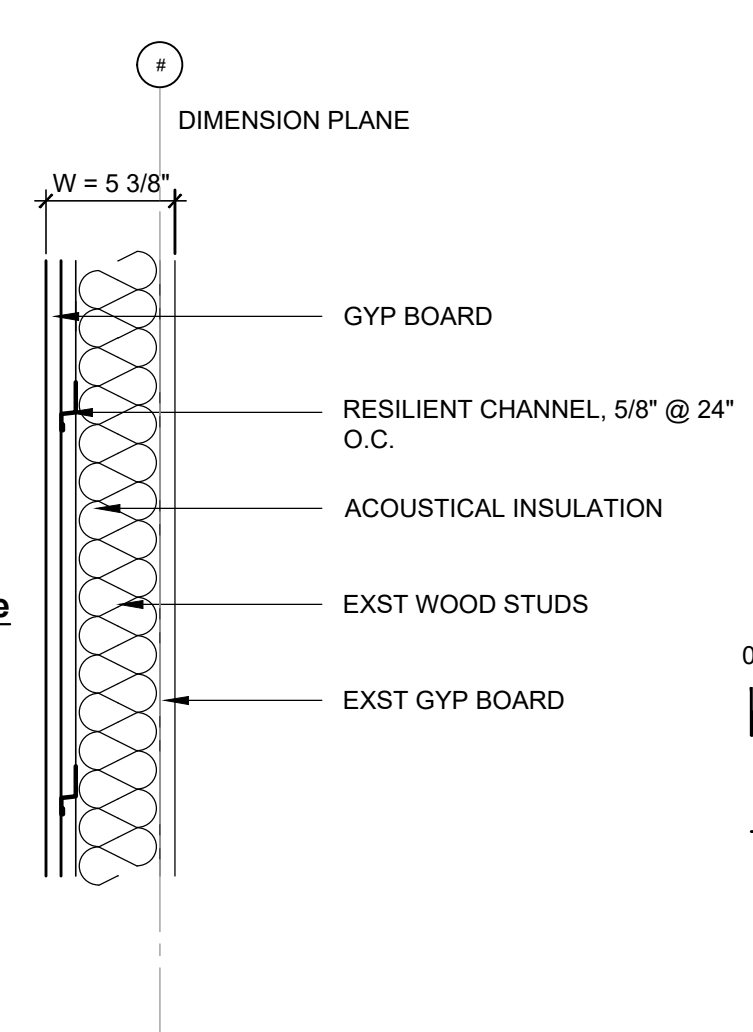


STUD SIZE & SPACING
STUD SIZE SPACING
4.24 2x4 3 1/2" 24" O.C.

WALL CORE ELEMENT
2 ACOUSTIC INSULATION

FIRE RATING
.0 NOT RATED

NOTE: SEE D111 FOR EXTENT OF DEMO.



12 EXTERIOR WALL ASSEMBLY **EM4.16W2-EXST** **9**
1 1/2" = 1'-0" INFILL - WD STUD - EXST SIDING

INTERIOR WALL ASSEMBLY **IE4.24W2.0** **6**
1 1/2" = 1'-0" WD STUD - GYP BOARD - ACOUSTIC

INTERIOR WALL ASSEMBLY **IE4.24W2.0-EXST** **3**
1 1/2" = 1'-0" EXST WD STUD - GYP BOARD - ACOUSTIC

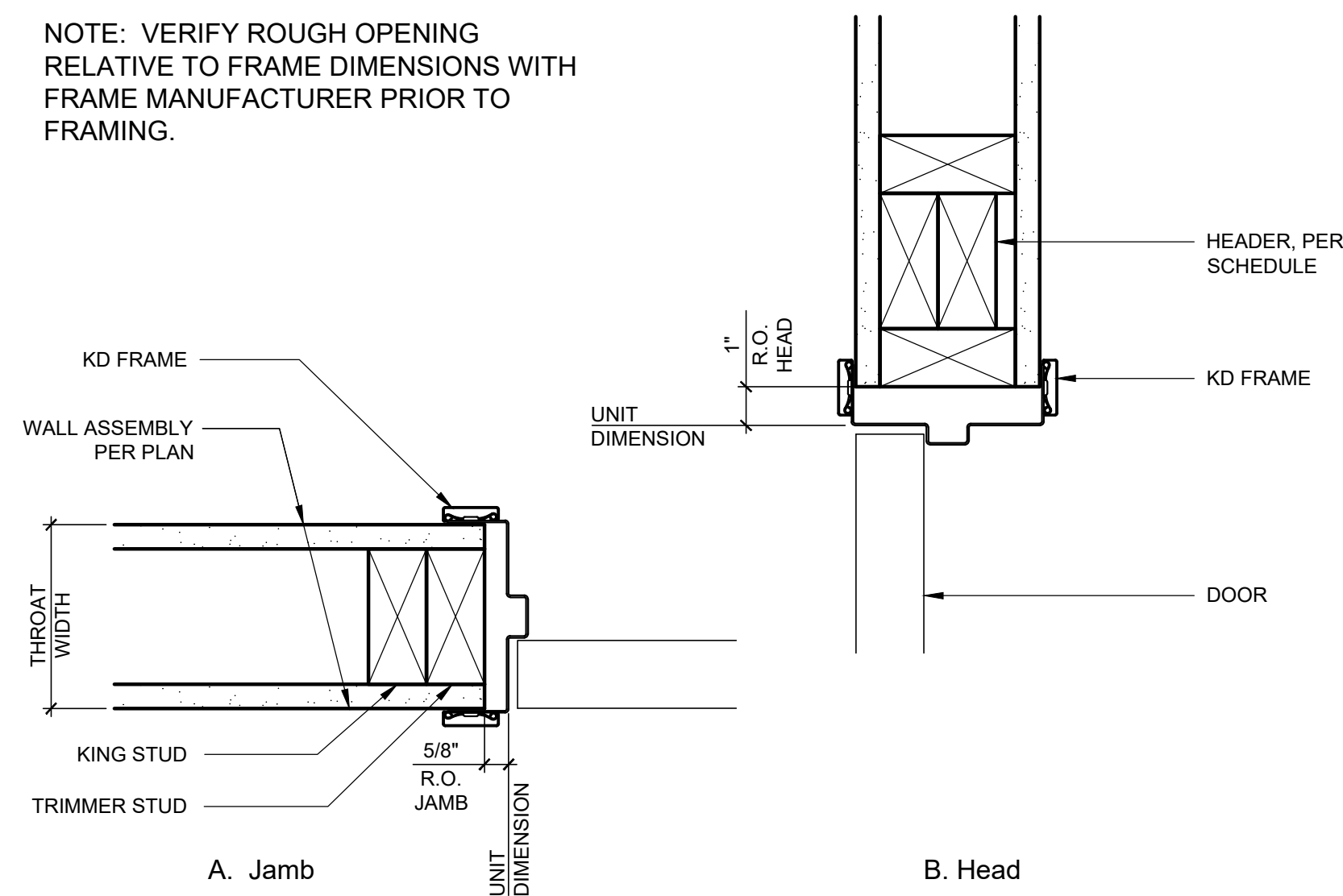
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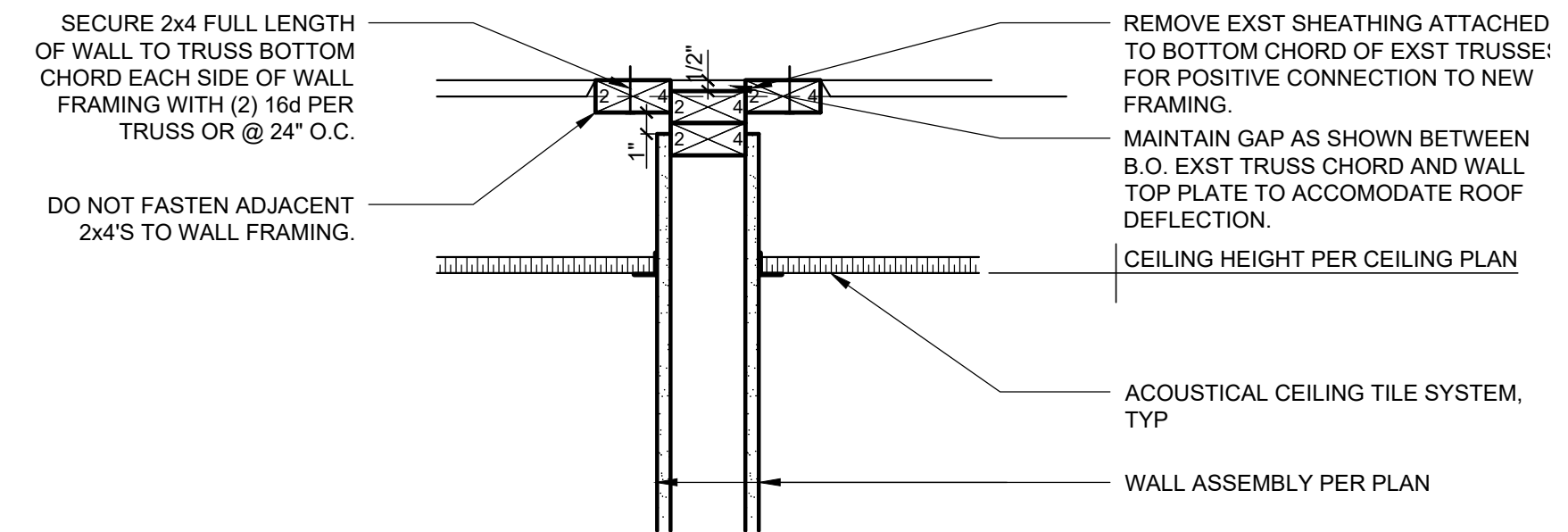
Wall Assemblies



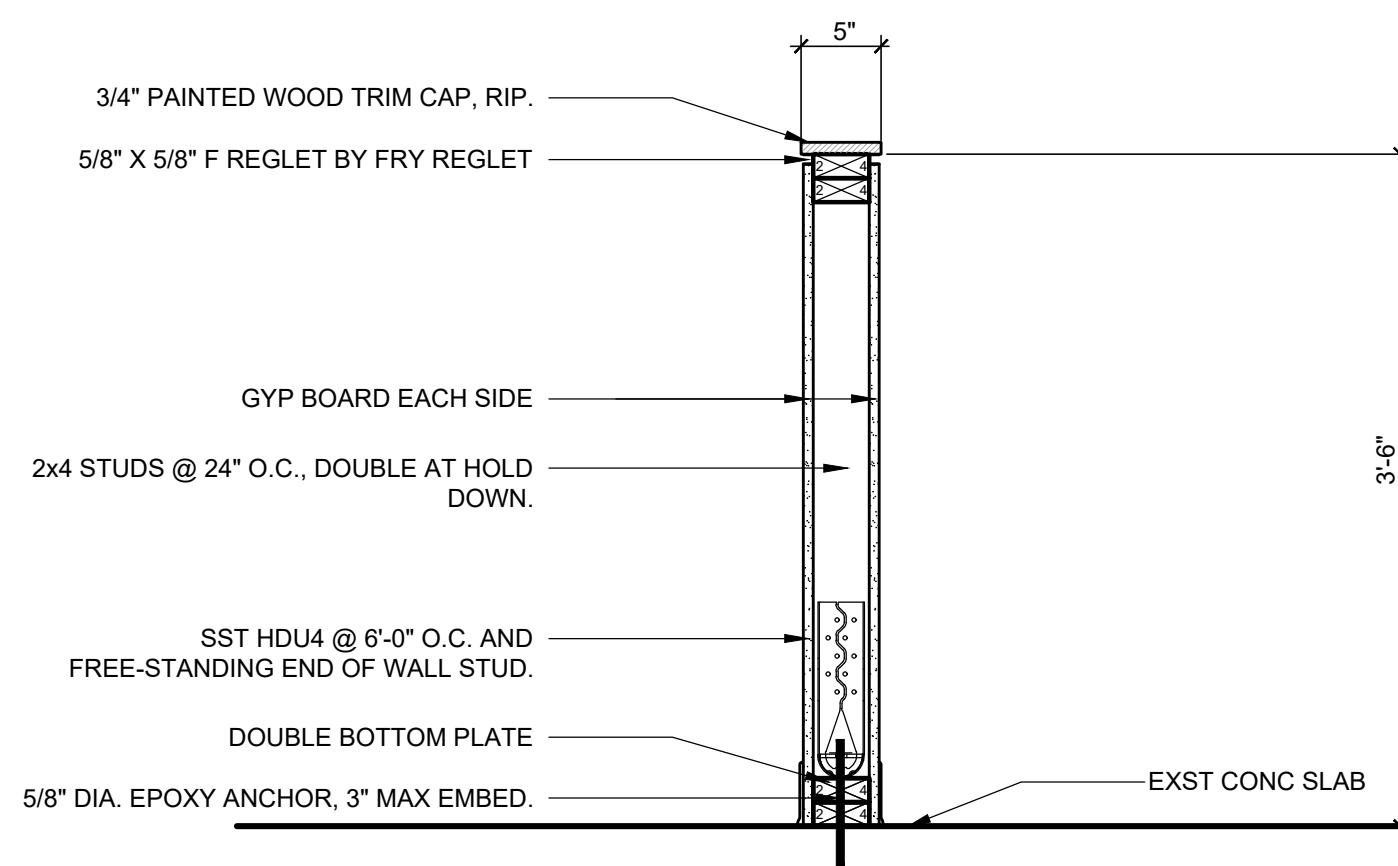
NOTE: VERIFY ROUGH OPENING
RELATIVE TO FRAME DIMENSIONS WITH
FRAME MANUFACTURER PRIOR TO
FRAMING.



7 Door Standard Details - Interior - KD Frame **4**
3" = 1'-0"

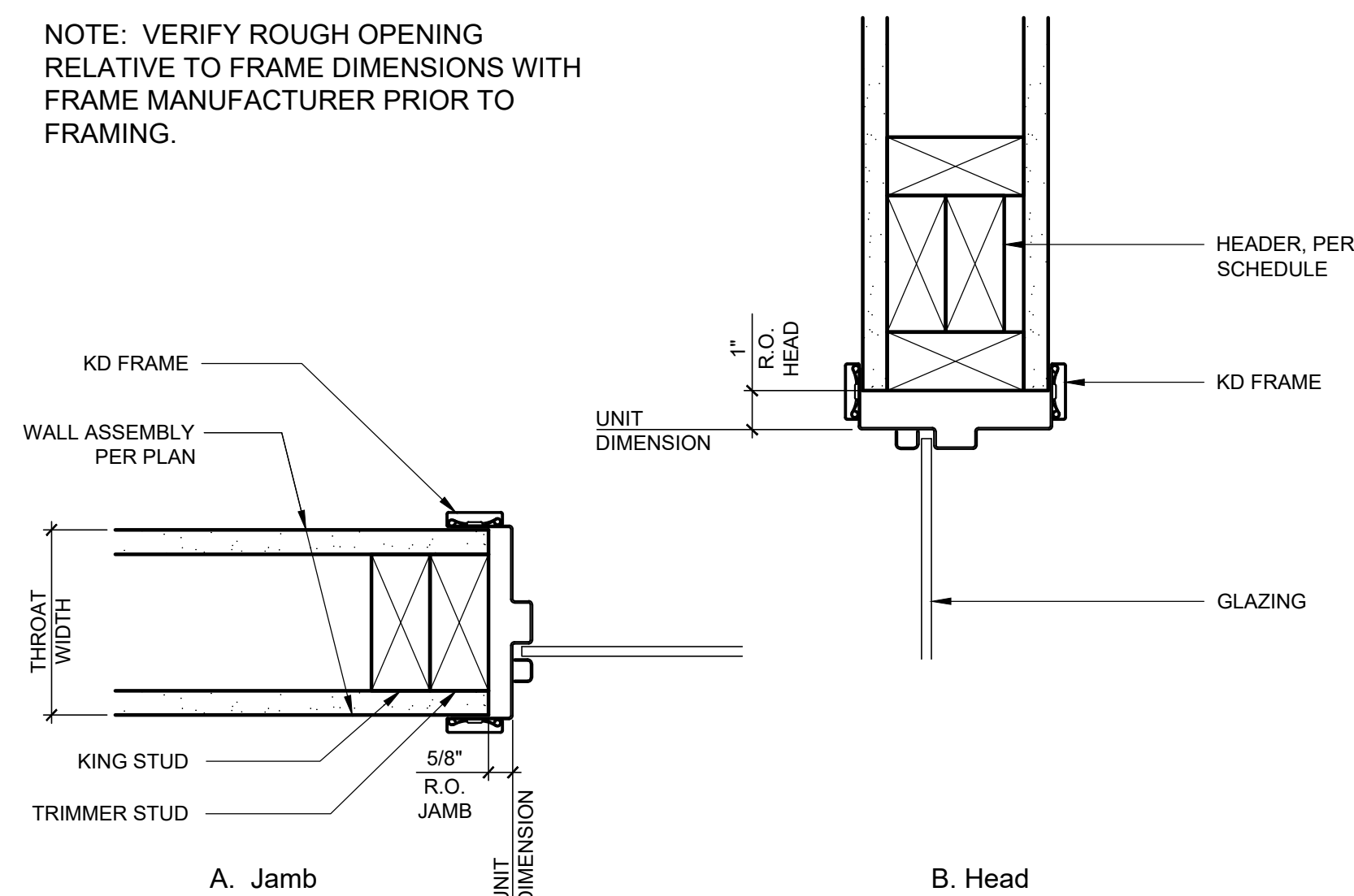


Top of Wall Detail - Terminate above ACT **1**
1 1/2" = 1'-0" Section

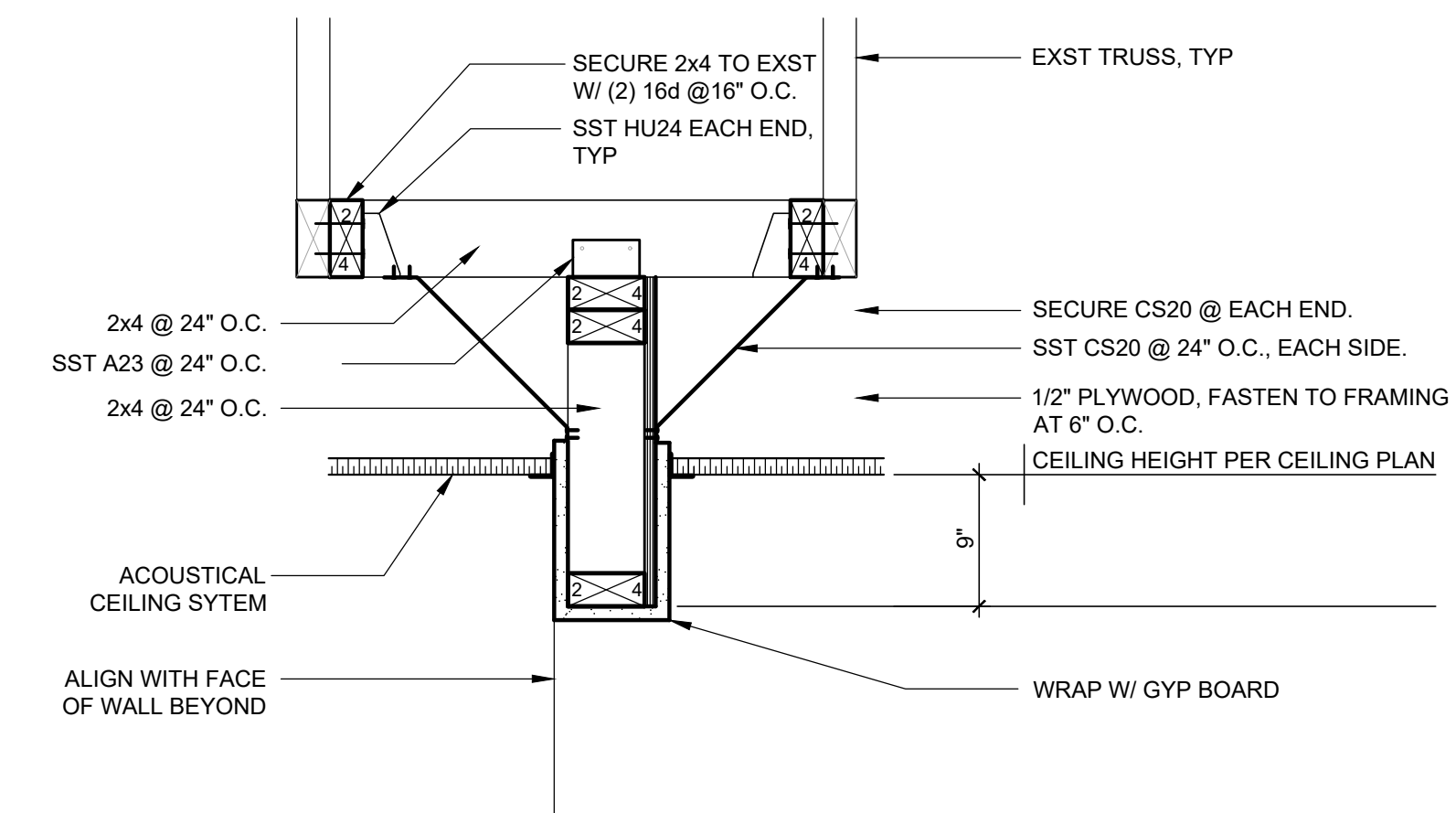


Low Wall **8**
1 1/2" = 1'-0" Section

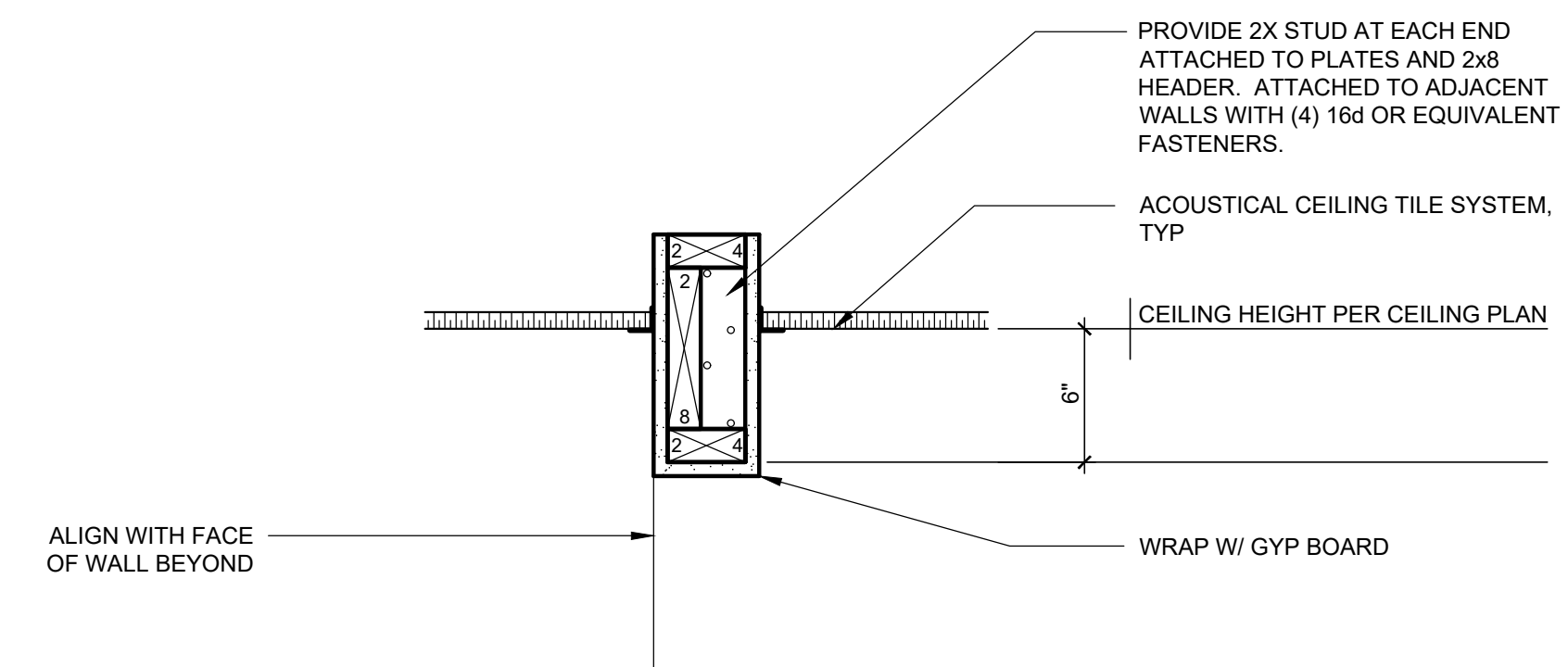
NOTE: VERIFY ROUGH OPENING
RELATIVE TO FRAME DIMENSIONS WITH
FRAME MANUFACTURER PRIOR TO
FRAMING.



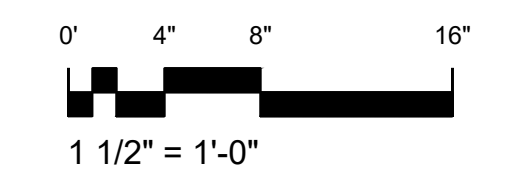
Relite Details - Interior - KD Frame **5**
3" = 1'-0"



Framed Header at ACT - Spans More Than 7 ft **2**
1 1/2" = 1'-0" Section



Framed Header at ACT - Spans Less Than 7 ft **3**
1 1/2" = 1'-0" Section

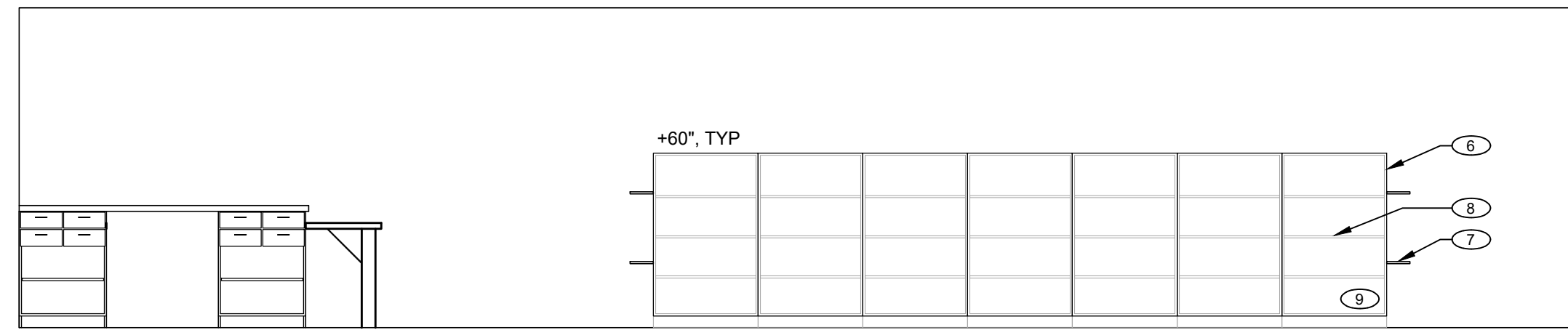
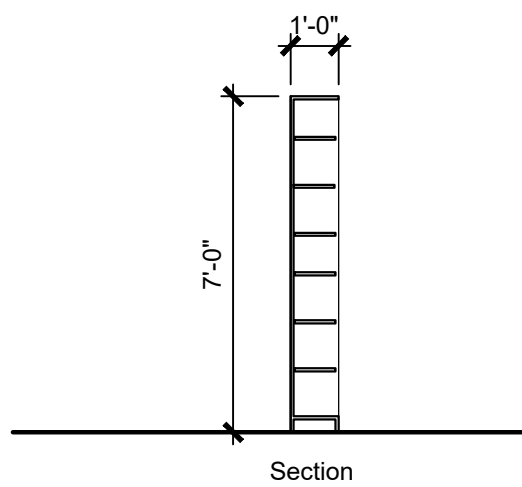
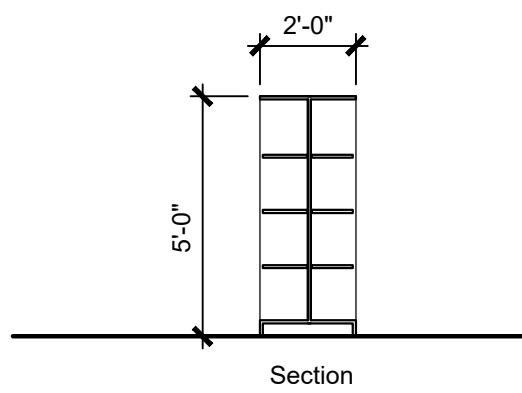
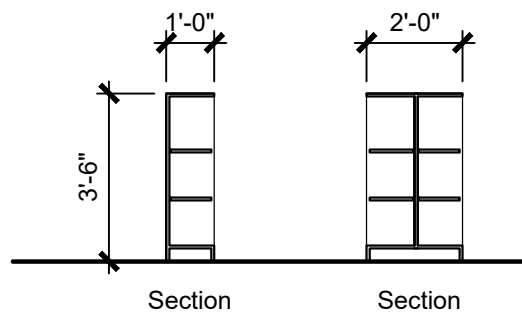
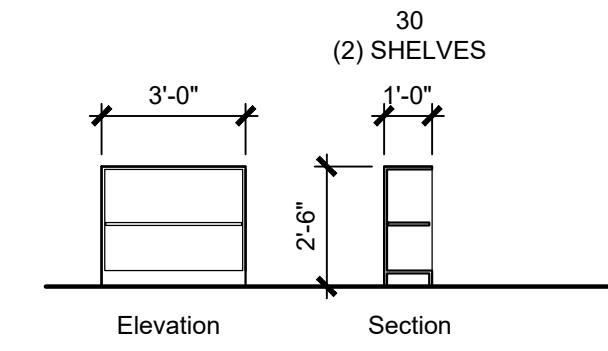


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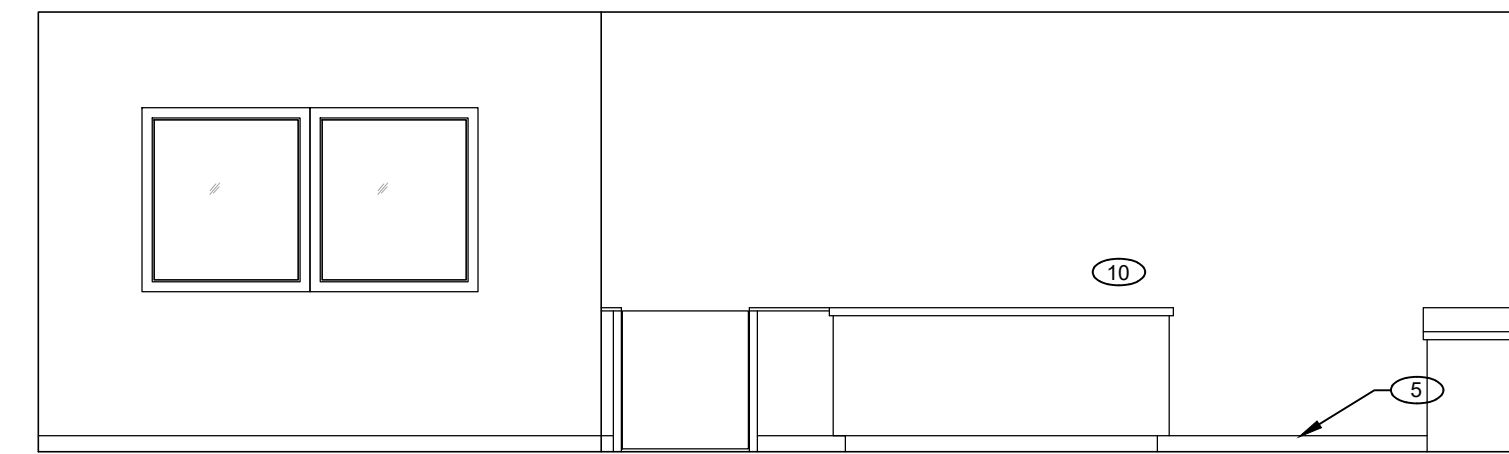
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Details

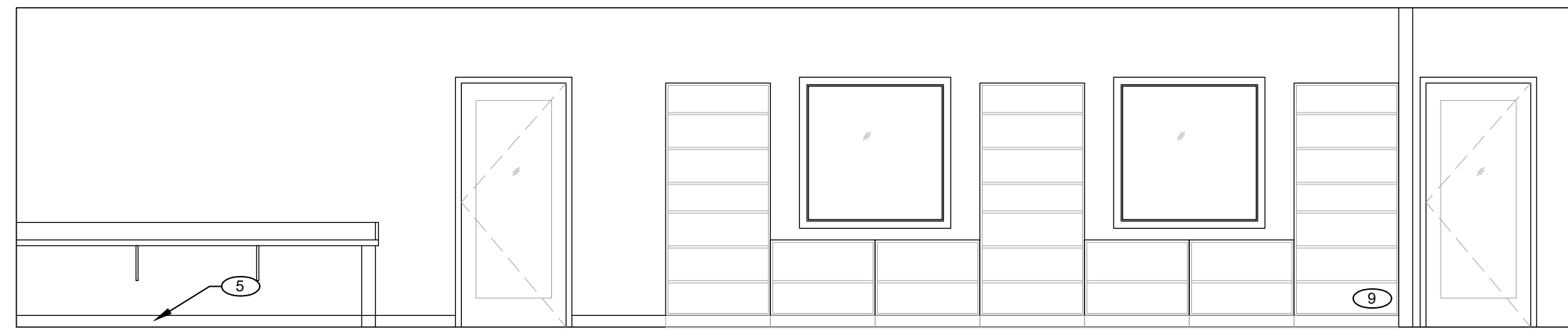
SHELVING TYPES - BY HEIGHT



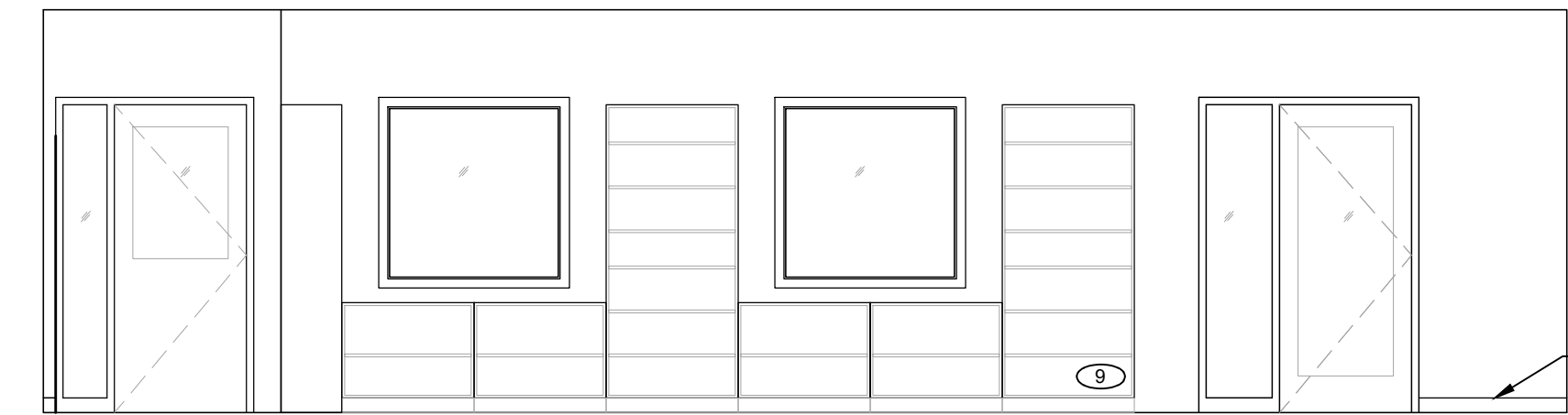
Looking South



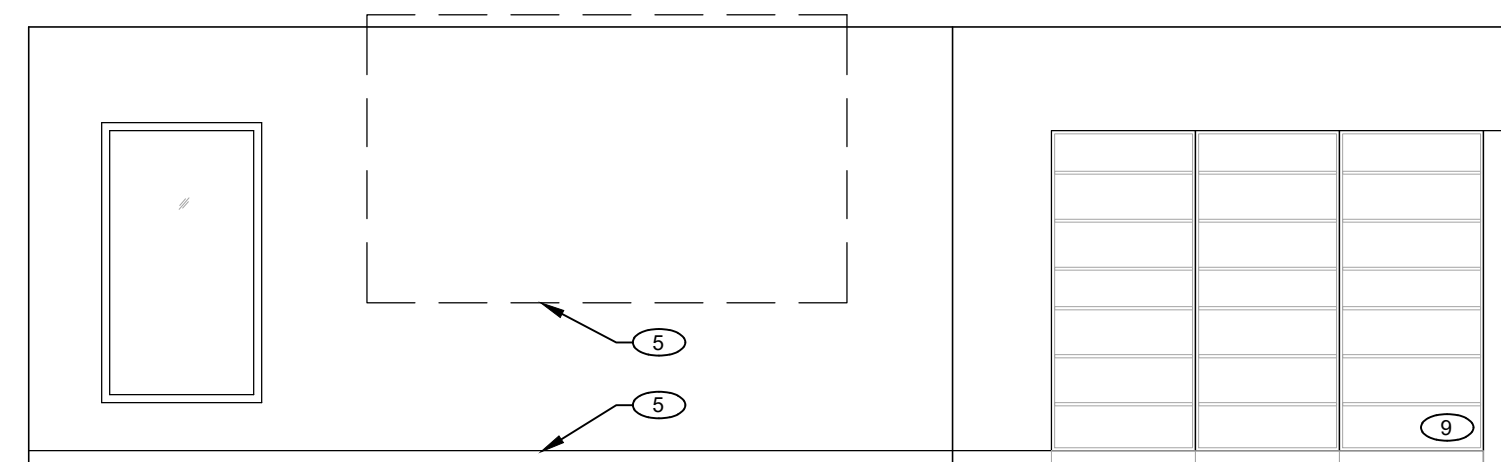
East



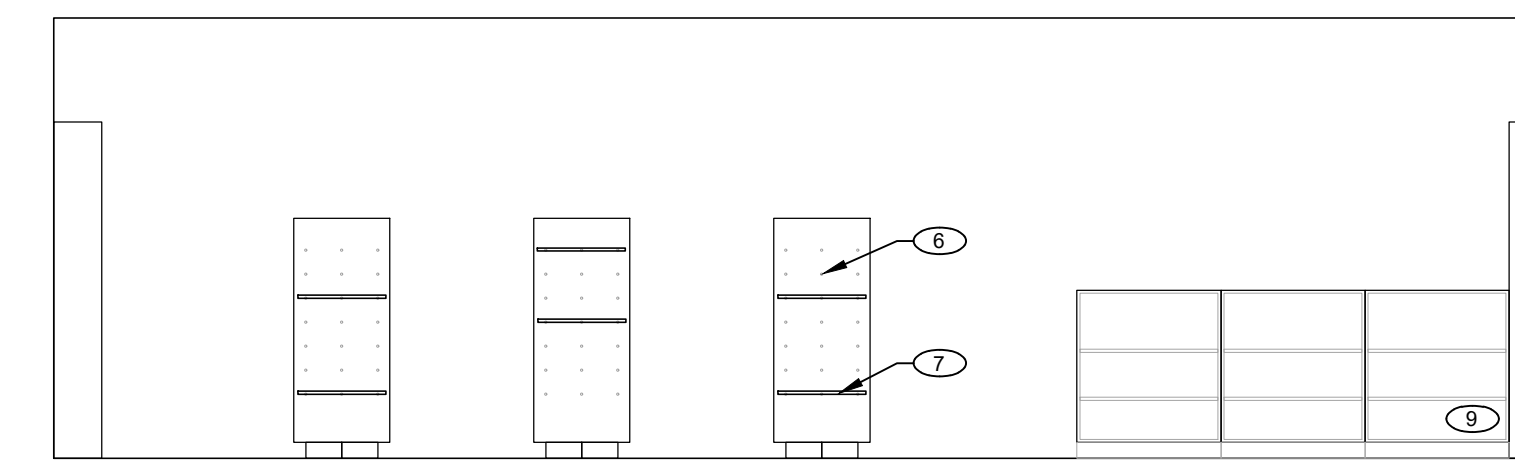
South



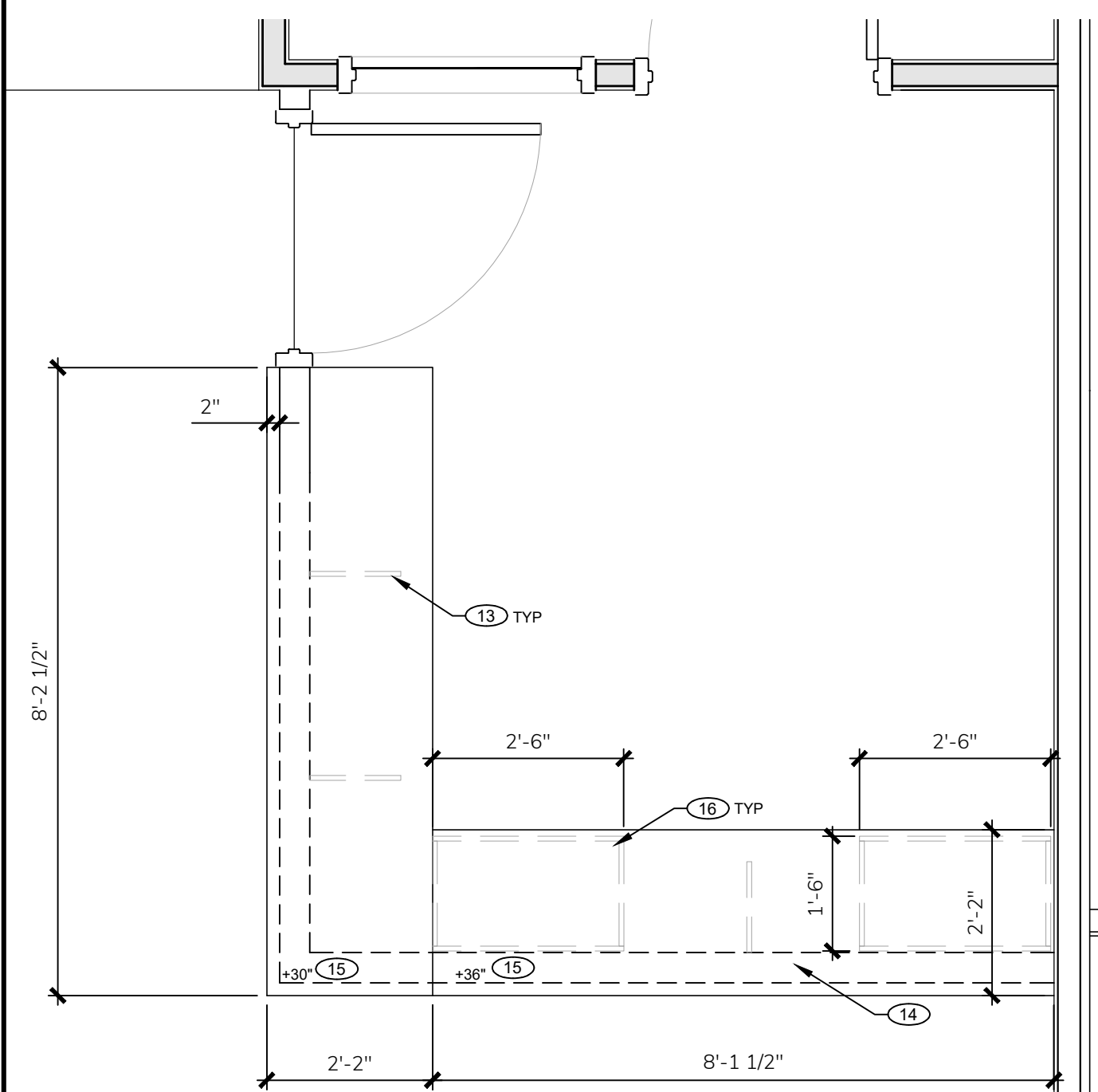
North



West



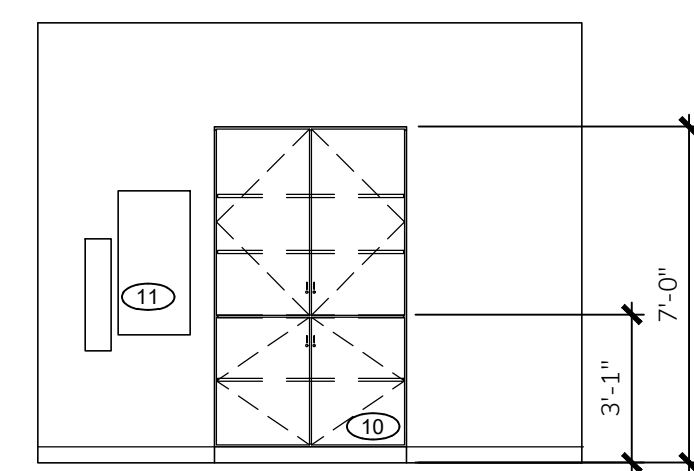
Looking West



Enlarged Plan
Library Service Deck

4

1/2" = 1'-0"

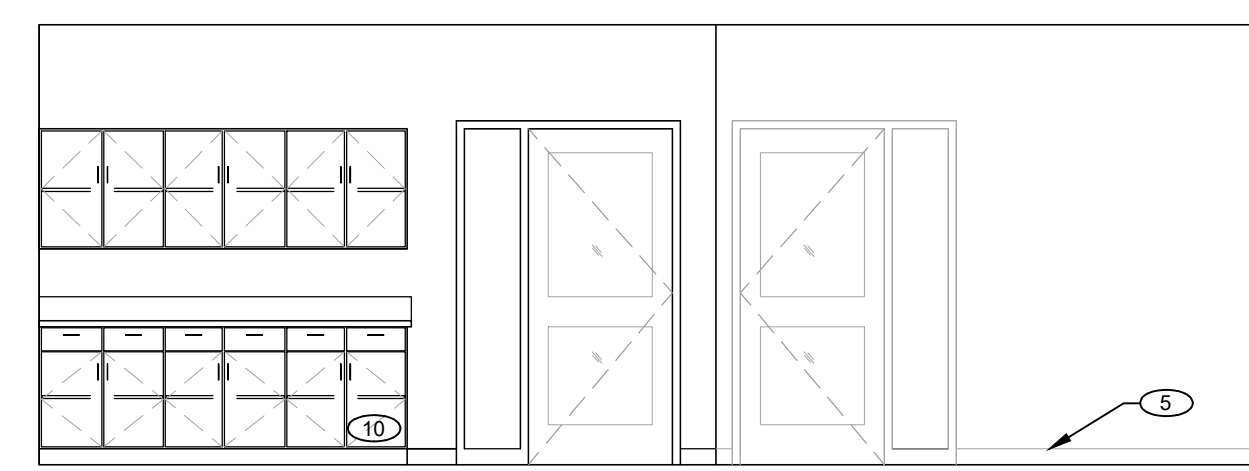


East

Interior Elevation
Rm 108 - Lib Wk Rm

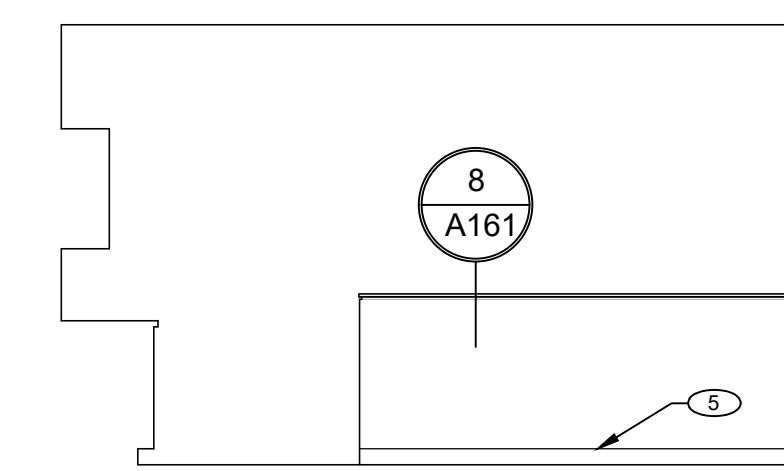
3

1/4" = 1'-0"



North

1/4" = 1'-0"



East

Interior Elevation
Rm 102 - Work Room

2

1/4" = 1'-0"

Interior Elevation
Rm 107 - Collections

1

WILSON
ARCHITECTURE

wilson-architecture.com | 541-912-0878



GENERAL NOTES

- A. PAINT ALL NEW AND EXISTING EXPOSED GYP BOARD.
- B. PAINT ALL WALLS PAINT COLOR 1, EXCEPT AS NOTED BELOW.

KEYNOTES - INTERIOR ELEVATIONS

1. GB1. RE-INSTALL AS SHOWN.
2. GB2. RE-INSTALL AS SHOWN.
3. GB3. NEW. INSTALL AS SHOWN.
4. PAINT COLOR 2 ON THIS WALL, FLOOR TO CEILING, CORNER TO CORNER.
5. FLOOR BASE. SEE SCHEDULE. CONTINUE BASE SCHEDULED FOR THAT ROOM AROUND CASEWORK BASE UNLESS NOTED OTHERWISE.
6. PROVIDE FINISHED END PANEL WITH SHELF BRACKET HOLES AT 6" O.C. VERTICALLY, STARTING 20" ABOVE FLOOR. (2) COLUMNS PER 12" SIDES. AT DOUBLE UNIT, PROVIDE (1) 24" WIDE FINISHED END PANEL, WITH (3) COLUMNS OF HOLES.
7. 12" DEEP x 22" WIDE SHELF. PROVIDE (2) PER UNIT WHERE SHOWN IN PLAN.
8. 1" THICK SHELF, TYP.
9. LIBRARY SHELF UNITS. SEE SHEET A112 AND A180.
10. CASEWORK, SEE SHEET A112 AND A180.
11. SEE ELECTRICAL FOR ELECTRICAL PANELS.
12. RELOCATE RECESSED PROJECTION SCREEN. COORDINATE POWER REQUIREMENTS WITH ELECTRICAL.
13. COUNTER BRACKET.
14. STUD WALL BELOW COUNTER.
15. COUNTER TOP.
16. CABINET UNIT WITH DRAWERS, DOORS, AND/OR SHELVES BELOW COUNTER.
17. 1" SECURITY GLASS WITH 1" EXTRUDED ALUMINUM FRAME.
18. COUNTER-RECESSED TRANSACTION TRAY.
19. PARTIAL HEIGHT WALL FOR ROUTING OF PLUMBING. PROVIDE P.LAM CAP TO MATCH COUNTER.
20. DIAPER CHANGING STATION. RELOCATE. VERIFY LOCATION WITH ARCHITECT.
21. TOILET PARTITION.
22. APPROXIMATE LOCATION OF WALL TILE, FIELD VERIFY LOCATION, SIZE, LAYOUT, AND COLOR. MATCH TILE AT REPAIRS. UNDER ALTERNATE, REMOVE AND REPLACE.
23. ADDITIONAL TILE AREA UNDER ALTERNATE.
24. MIRROR.

Bid and Permit Set

City of Lowell

Maggie Osgood Library and
City Hall Renovation

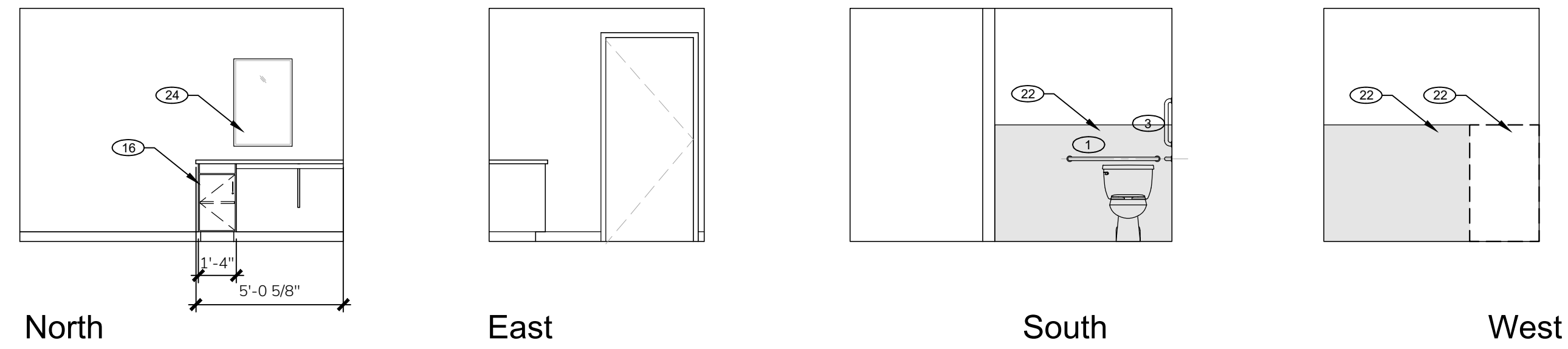
Interior Elevations

PROJECT: 21031

CHECKED: CW

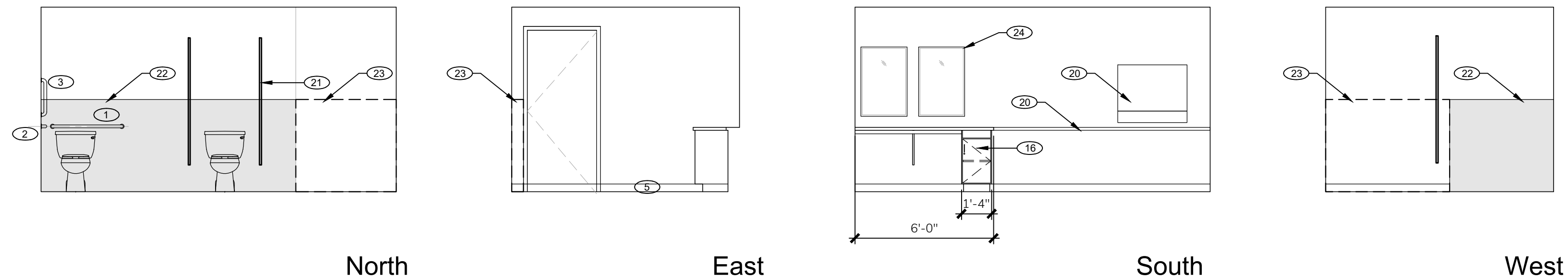
DATE: 2/28/2022 REVISIONS:

A171



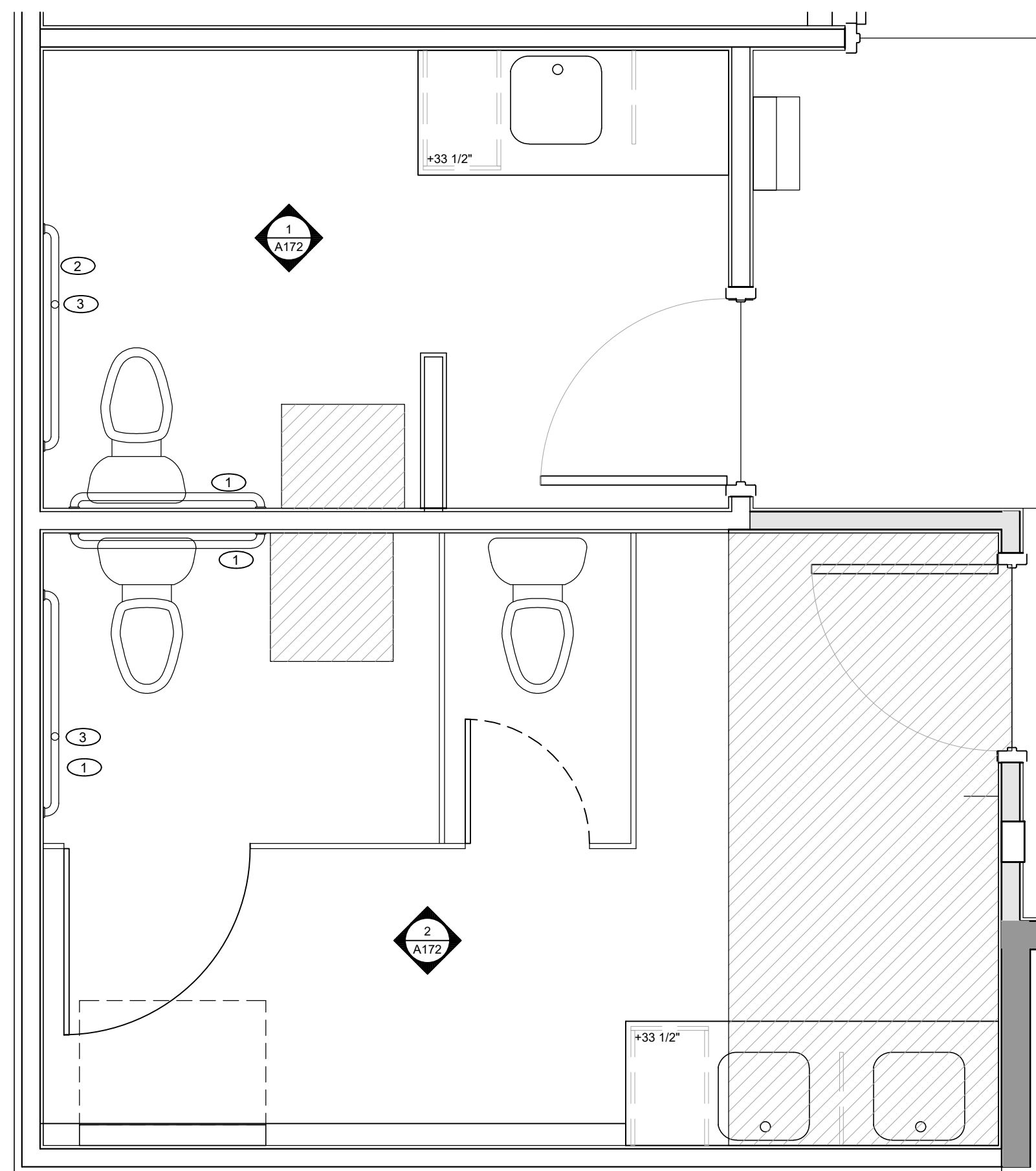
North East South West

1/4" = 1'-0" Interior Elevation 1
Rm 103 - Men's RR

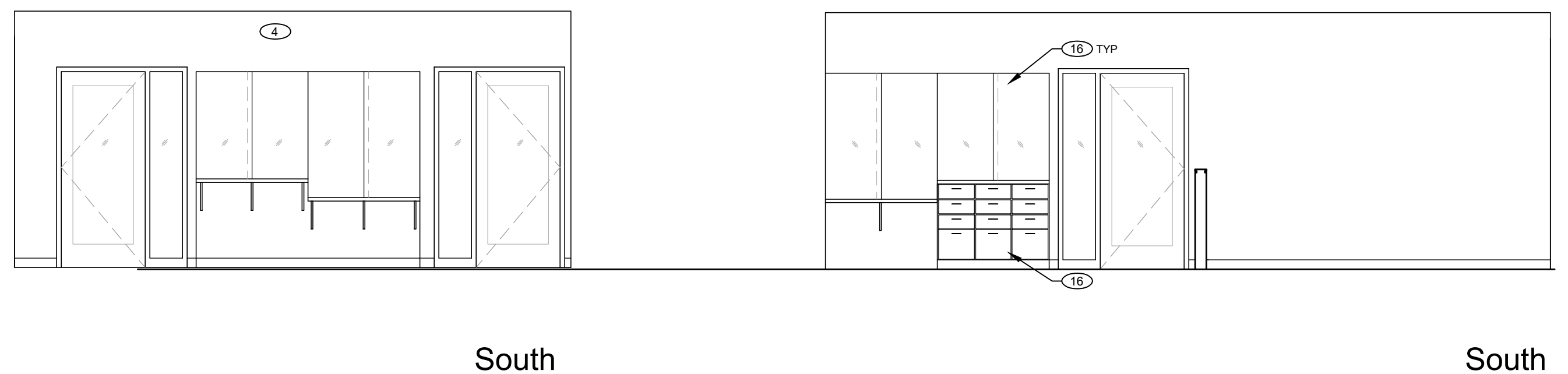


North East South West

1/4" = 1'-0" Interior Elevation 2
Rm 104 - Women's RR

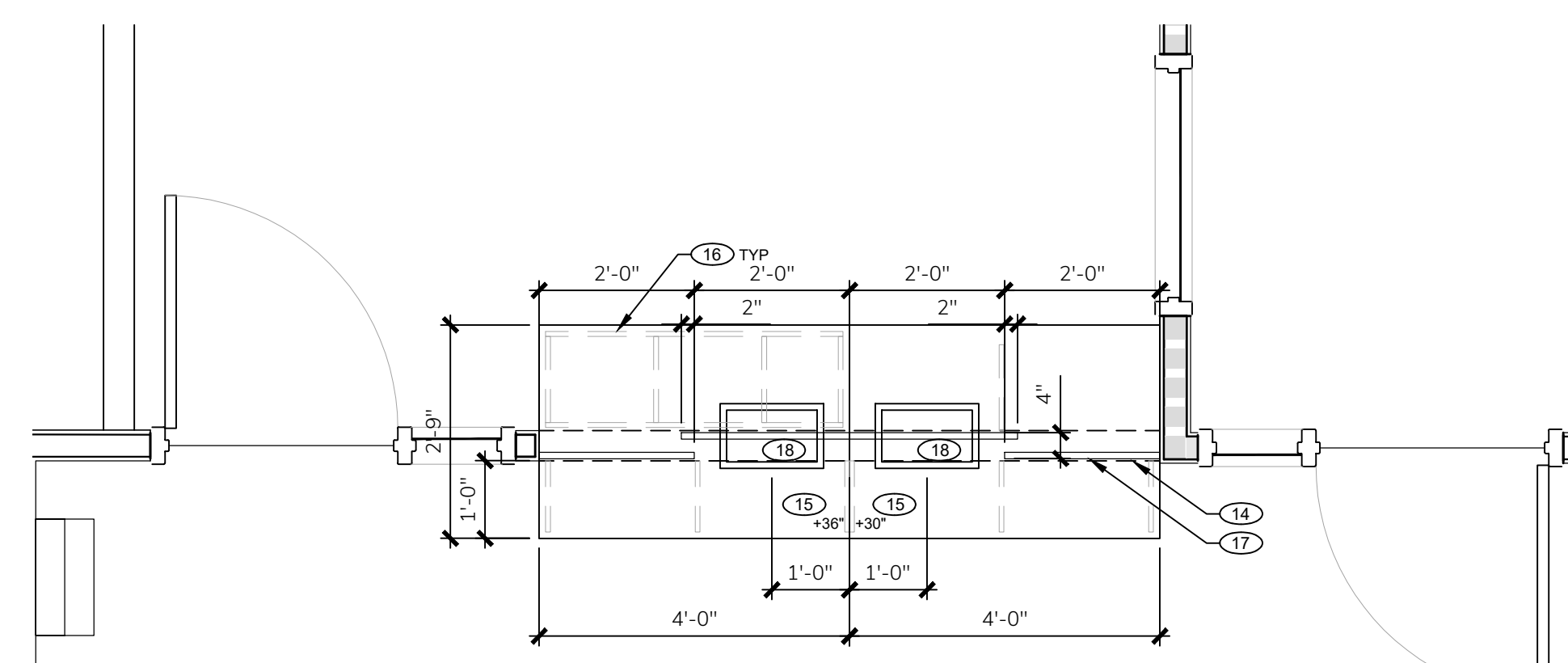


1/4" = 1'-0" Interior Elevation 6
Rm 107 - Collections



1/4" = 1'-0" Interior Elevation 5
Rm 107 - Collections

1/4" = 1'-0" Interior Elevation 3
Rm 107 - Collections



1/4" = 1'-0" Interior Elevation 4
Rm 102 - Work Room

- GENERAL NOTES**
- A. PAINT ALL NEW AND EXISTING EXPOSED GYP BOARD.
 - B. PAINT ALL WALLS PAINT COLOR 1, EXCEPT AS NOTED BELOW.

- KEYNOTES - INTERIOR ELEVATIONS**
- 1. GB1. RE-INSTALL AS SHOWN.
 - 2. GB 2. RE-INSTALL AS SHOWN.
 - 3. GB3. NEW. INSTALL AS SHOWN.
 - 4. PAINT COLOR 2 ON THIS WALL, FLOOR TO CEILING, CORNER TO CORNER.
 - 5. FLOOR BASE. SEE SCHEDULE. CONTINUE BASE SCHEDULED FOR THAT ROOM AROUND CASEWORK BASE UNLESS NOTED OTHERWISE.
 - 6. PROVIDE FINISHED END PANEL WITH SHELF BRACKET HOLES AT 6" O.C. VERTICALLY, STARTING 20" ABOVE FLOOR. (2) COLUMNS PER 12" SIDES. AT DOUBLE UNIT, PROVIDE (1) 24" WIDE FINISHED END PANEL, WITH (3) COLUMNS OF HOLES.
 - 7. 12" DEEP x 22" WIDE SHELF. PROVIDE (2) PER UNIT WHERE SHOWN IN PLAN.
 - 8. 1" THICK SHELF, TYP.
 - 9. LIBRARY SHELF UNITS. SEE SHEET A112 AND A180.
 - 10. CASEWORK, SEE SHEET A112 AND A180.
 - 11. SEE ELECTRICAL FOR ELECTRICAL PANELS.
 - 12. RELOCATE RECESSED PROJECTION SCREEN. COORDINATE POWER REQUIREMENTS WITH ELECTRICAL.
 - 13. COUNTER BRACKET.
 - 14. STUD WALL BELOW COUNTER.
 - 15. COUNTER TOP.
 - 16. CABINET UNIT WITH DRAWERS, DOORS, AND/OR SHELVES BELOW COUNTER.
 - 17. 1" SECURITY GLASS WITH 1" EXTRUDED ALUMINUM FRAME.
 - 18. COUNTER-RECESSED TRANSACTION TRAY.
 - 19. PARTIAL HEIGHT WALL FOR ROUTING OF PLUMBING. PROVIDE P.LAM CAP TO MATCH COUNTER.
 - 20. DIAPER CHANGING STATION. RELOCATE. VERIFY LOCATION WITH ARCHITECT.
 - 21. TOILET PARTITION.
 - 22. APPROXIMATE LOCATION OF WALL TILE, FIELD VERIFY LOCATION, SIZE, LAYOUT, AND COLOR. MATCH TILE AT REPAIRS. UNDER ALTERNATE, REMOVE AND REPLACE.
 - 23. ADDITIONAL TILE AREA UNDER ALTERNATE.
 - 24. MIRROR.

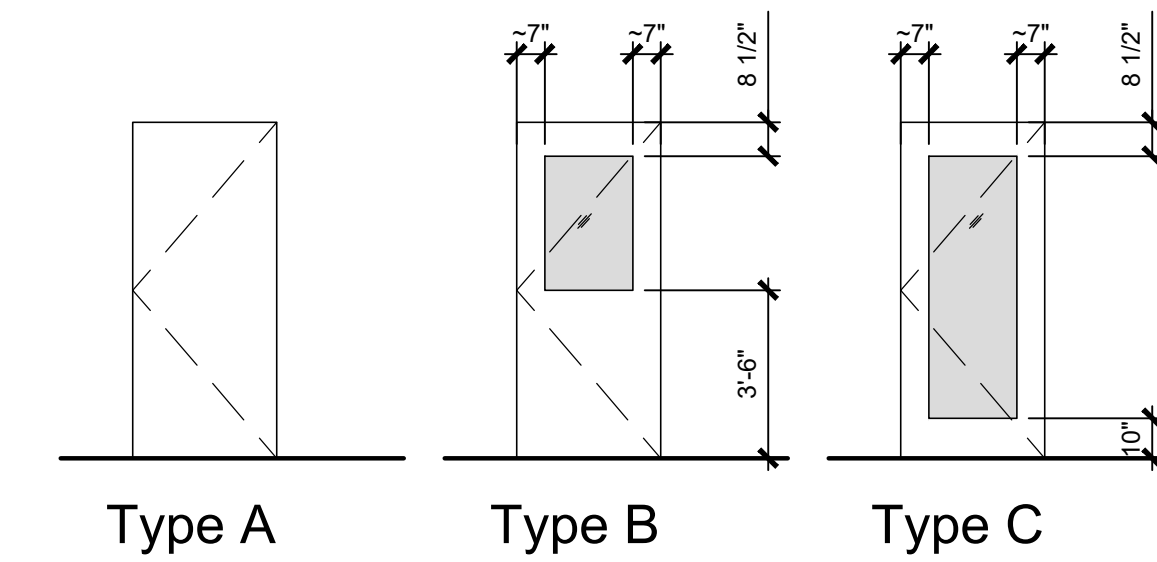
Bid and Permit Set
City of Lowell
Maggie Osgood Library and
City Hall Renovation

FINISH SCHEDULE

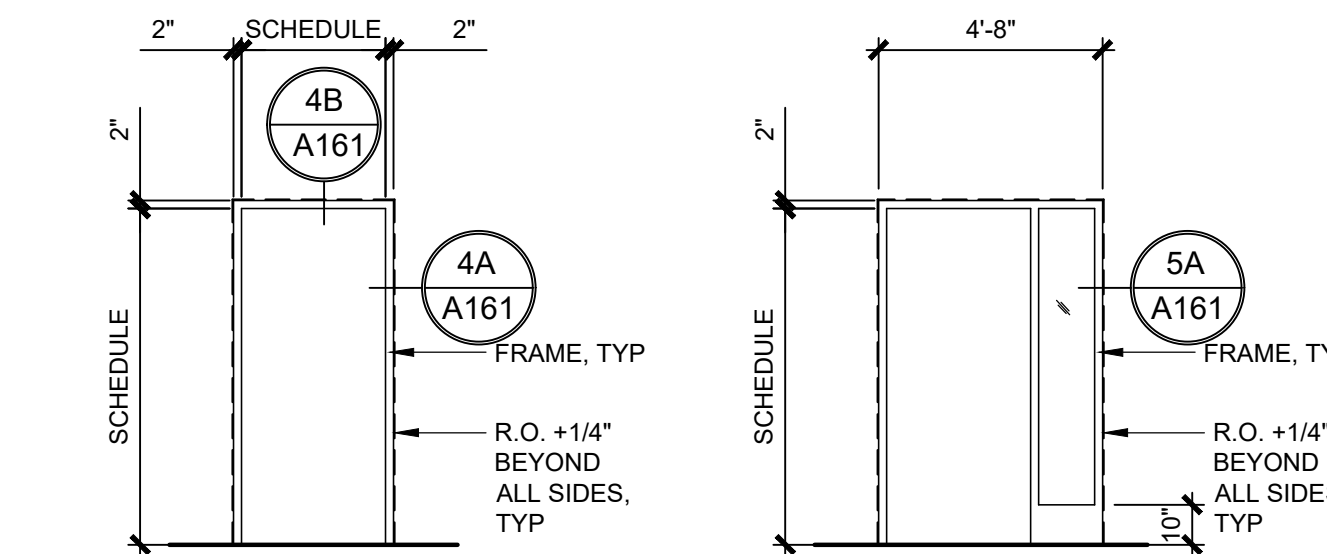
| RM # | LOCATION | FLOOR | | BASE | | WALL | | | | CEILING | | CASEWK | NOTES | RM # | | | | |
|------|-------------------|---------------|-----|------|-----|-------------------|-----------|-------------------|-----------|-------------------|-----------|-------------------|-----------|--------------|-------|------|----------------|-----|
| | | MAT | FIN | MAT | FIN | NORTH | | EAST | | SOUTH | | | | | WEST | | | |
| | | | | | | MAT | FIN | MAT | FIN | MAT | FIN | | | | MAT | FIN | | |
| 101 | CITY ADMIN OFFICE | CP1 | FAC | RB | FAC | GB | PAINT | GB | PAINT | GB / EXST GB | PAINT | EXST GB | PAINT | ACT | FAC | EXST | | 101 |
| 102 | WORK ROOM | CP1 | FAC | RB | FAC | GB / EXST GB | PAINT | GB | PAINT | EXST GB | PAINT | EXST GB | PAINT | ACT | FAC | A | | 102 |
| 103 | MEN'S RR | TL-EX, PATCH | FAC | EXST | | EXST GB | PAINT | EXST GB | PAINT | EXST TL / EXST GB | - / PAINT | EXST TL / EXST GB | - / PAINT | EXST GB | PAINT | A | SEE ALTERNATES | 103 |
| 104 | WOMEN'S RR | TL-EX, PATCH | FAC | EXST | | EXST TL / EXST GB | - / PAINT | EXST TL / EXST GB | - / PAINT | EXST GB | PAINT | EXST TL / EXST GB | - / PAINT | GB / EXST GB | PAINT | A | SEE ALTERNATES | 104 |
| 105 | ENTRANCE | CP4 | FAC | RB | FAC | SEE ROOM 113 | | GB | PAINT | GB | PAINT | GB | PAINT | ACT | FAC | | | 105 |
| 106 | CITY CLERK | CP1 | FAC | RB | FAC | GB | PAINT | GB | PAINT | GB | PAINT | GB | PAINT | ACT | FAC | A | | 106 |
| 107 | COLLECTIONS | CP1, CP2, CP3 | FAC | RB | FAC | GB | PAINT | GB | PAINT | GB | PAINT | GB | PAINT | ACT | FAC | B | SEE ALTERNATES | 107 |
| 108 | LIBRARY WORK ROOM | CP1 | FAC | RB | FAC | GB | PAINT | GB | PAINT | GB | PAINT | GB | PAINT | ACT | FAC | A | SEE ALTERNATES | 108 |
| 109 | SERVICE DESK | CP1 | FAC | RB | FAC | GB | PAINT | GB | PAINT | SEE ROOM 110 | | SEE ROOM 107 | | ACT | FAC | A | SEE ALTERNATES | 109 |
| 110 | CUSTOMER SERVICE | CP3 | FAC | RB | FAC | SEE ROOM 109 | | | | SEE ROOM 107 | | | | ACT | FAC | | SEE ALTERNATES | 110 |
| 111 | MECH AREA | EXST | | | | EXST | | EXST | | EXST | | EXST | | EXST | | | | 111 |
| 112 | CONFERENCE ROOM | CP1 | FAC | RB | FAC | GB | PAINT | GB | PAINT | GB | PAINT | GB | PAINT | ACT | FAC | | | 112 |
| 113 | LOBBY | VCT1 | FAC | RB | FAC | GB | PAINT | GB | PAINT | GB | PAINT | GB | PAINT | ACT | FAC | | | 113 |
| 114 | STORAGE | VCT1 | FAC | RB | FAC | GB | PAINT | GB | PAINT | GB | PAINT | GB | PAINT | ACT | FAC | | | 114 |

DOOR SCHEDULE

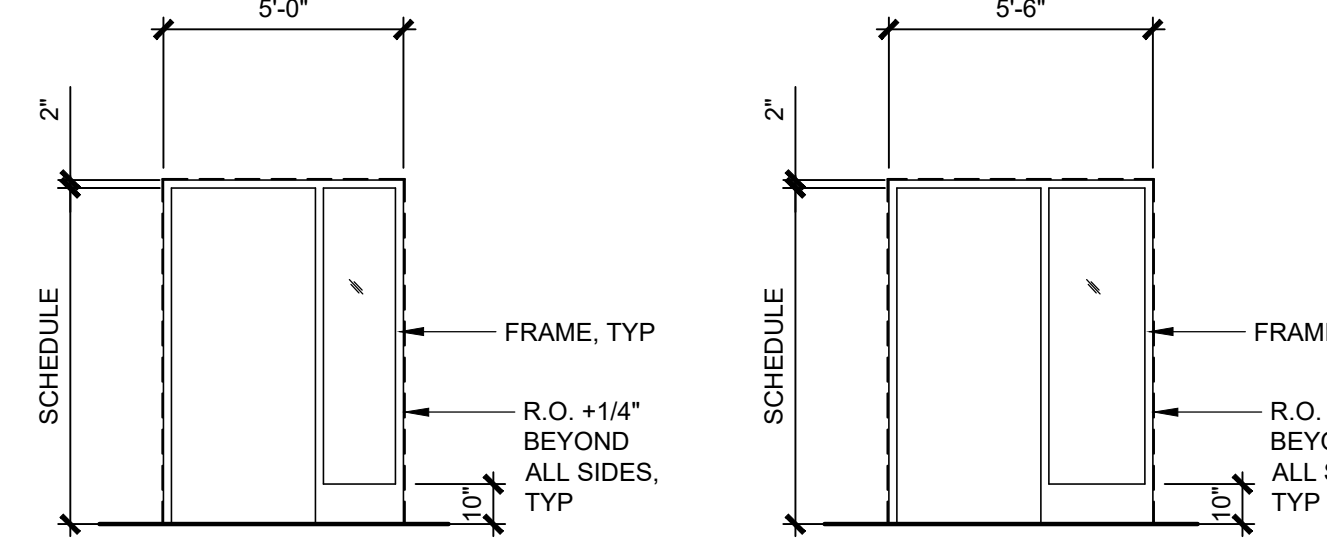
| MARK | IDENTIFICATION | | STATUS | PERFORMANCE | | | | CHARACTERISTICS | | | | | | | | HARDWARE GROUP | NOTES | MARK | |
|-------|----------------|-------------------|--------|----------------------|-------|-------|-------|-----------------|-----------------|--------|------|--------|-------|------|--------|----------------|-------|------|-------|
| | RM # | ROOM NAME | | FIRE RATING (minute) | | SMOKE | SOUND | THERMAL | NOM. DIMENSIONS | | DOOR | | FRAME | | | | | | |
| | | | | DOOR | FRAME | | | | WIDTH | HEIGHT | TYPE | MATER. | FIN. | TYPE | MATER. | | | | FIN. |
| 101.E | 101 | CITY ADMIN OFFICE | DEMO | | | | | | | | | | | | | | | | 101.E |
| 101.1 | 101 | CITY ADMIN OFFICE | NEW | NA | NA | NA | YES | NA | 3'-0" | 7'-0" | B | WOOD | FAC | 2.1 | HM | PAINT | E | | 101.1 |
| 102.E | 102 | WORK ROOM | DEMO | | | | | | | | | | | | | | | | 102.E |
| 103.E | 103 | MEN'S RR | DEMO | | | | | | | | | | | | | | | | 103.E |
| 103.1 | 103 | MEN'S RR | NEW | NA | NA | NA | YES | NA | 3'-0" | 7'-0" | A | WOOD | FAC | 1 | HM | PAINT | K | | 103.1 |
| 104.E | 104 | WOMEN'S RR | DEMO | | | | | | | | | | | | | | | | 104.E |
| 104.1 | 104 | WOMEN'S RR | NEW | NA | NA | NA | YES | NA | 3'-0" | 7'-0" | A | WOOD | FAC | 1 | HM | PAINT | J | | 104.1 |
| 105.E | 105 | ENTRANCE | DEMO | | | | | | | | | | | | | | | | 105.E |
| 105.1 | 105 | ENTRANCE | NEW | NA | NA | NA | NA | YES | 3'-0" | 7'-0" | C | HM | PAINT | 2.3 | HM | PAINT | A | | 105.1 |
| 106.1 | 106 | CITY CLERK | NEW | NA | NA | NA | NA | NA | 3'-0" | 7'-0" | C | WOOD | FAC | 2.1 | HM | PAINT | F | | 106.1 |
| 107.E | 107 | BIG ROOM EAST | DEMO | | | | | | | | | | | | | | | | 107.E |
| 107.1 | 107 | COLLECTIONS | NEW | NA | NA | NA | NA | NA | 3'-0" | 7'-0" | C | WOOD | FAC | 2.1 | HM | PAINT | D | | 107.1 |
| 107.2 | 107 | COLLECTIONS | NEW | NA | NA | NA | YES | NA | 3'-0" | 7'-0" | C | HM | PAINT | 2.2 | HM | PAINT | B | | 107.2 |
| 107.3 | 107 | COLLECTIONS | NEW | NA | NA | NA | YES | NA | 3'-0" | 7'-0" | C | HM | PAINT | 2.2 | HM | PAINT | C | | 107.3 |
| 108.E | 108 | STORAGE | DEMO | | | | | | | | | | | | | | | | 108.E |
| 108.1 | 108 | LIBRARY WORK ROOM | NEW | NA | NA | NA | NA | NA | 3'-0" | 7'-0" | B | WOOD | FAC | 1 | HM | PAINT | E | | 108.1 |
| 109.1 | 109 | SERVICE DESK | NEW | NA | NA | NA | NA | NA | 3'-0" | 3'-0" | A | WOOD | FAC | 3 | HM | PAINT | I | | 109.1 |
| 110.E | 110 | STORAGE | DEMO | | | | | | | | | | | | | | | | 110.E |
| 112.1 | 112 | CONFERENCE ROOM | NEW | NA | NA | NA | YES | NA | 3'-0" | 7'-0" | B | WOOD | FAC | 2.1 | HM | PAINT | H | | 112.1 |
| 112.2 | 112 | CONFERENCE ROOM | NEW | NA | NA | NA | YES | NA | 3'-0" | 7'-0" | B | WOOD | FAC | 2.1 | HM | PAINT | G | | 112.2 |
| 114.4 | 114 | STORAGE | NEW | NA | NA | NA | NA | NA | 3'-0" | 7'-0" | A | WOOD | FAC | 1 | HM | PAINT | J | | 114.4 |



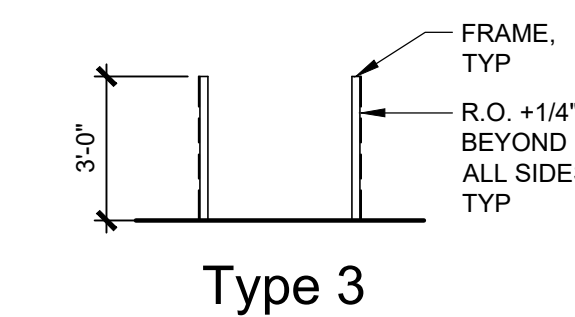
Door Types 1



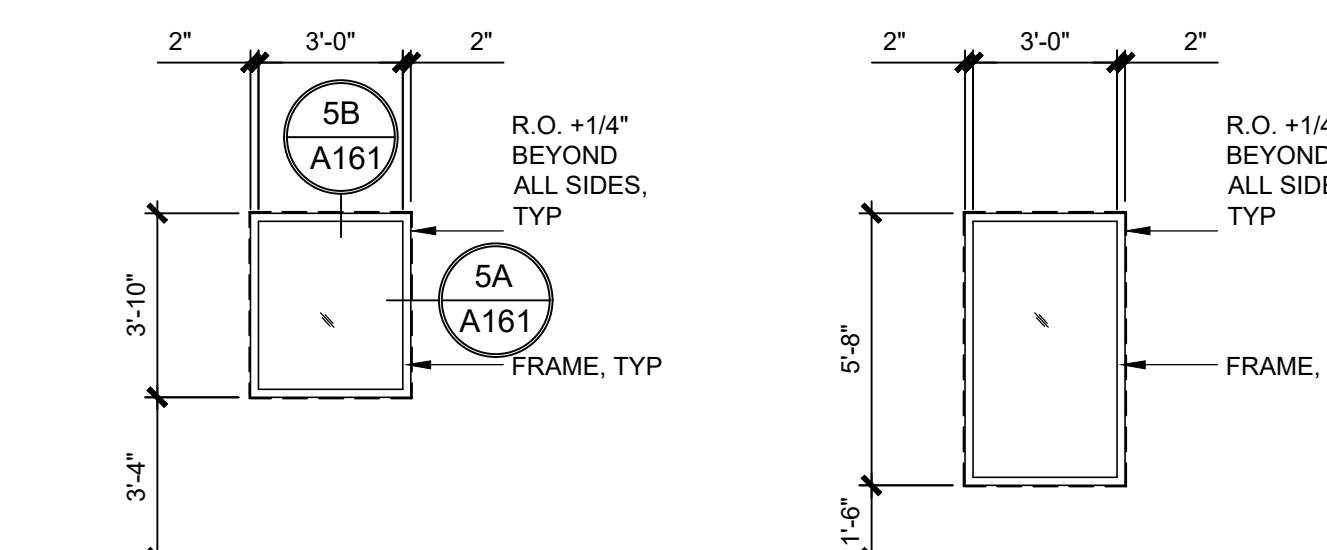
Door Frame Types 2



Door Frame Types 3



Door Frame Types 2



Relite Frame Types 3



CASEWORK TYPES

- TYPE A: P.LAM COUNTER, P.LAM BASE
- TYPE B: ALL WOOD

HARDWARE GROUPS

- A. EXTERIOR: HINGES, LEVER, KEYPAD, CLOSER, AUTO-DOOR OPERATOR, THERMAL SEALS.
- B. EXTERIOR: HINGES, LEVER, KEYPAD, CLOSER, THERMAL SEALS.
- C. EXTERIOR: HINGES, LEVER, LOCKSET, CLOSER, THERMAL SEALS. OFFICE FUNCTION.
- D. INTERIOR: HINGES, LEVER, KEYPAD, KICK PLATES.
- E. INTERIOR: HINGES, LEVER, KEYPAD, KICK PLATES, SOUND SEALS.
- F. INTERIOR: HINGES, LEVER, LOCKSET, KICK PLATES. CLASSROOM FUNCTION.
- G. INTERIOR: HINGES, LEVER, LOCKSET, SOUND SEALS. OFFICE FUNCTION.
- H. INTERIOR: HINGES, LEVER, LOCKSET, SOUND SEALS. CLASSROOM FUNCTION BOTH SIDES OF DOOR.
- I. INTERIOR: HINGES, LATCHSET.
- J. INTERIOR: HINGES, PUSH/PULL.
- K. INTERIOR: HINGES, PUSH/PULL, OCCUPANCY DEADBOLT, SOUND SEALS.
- L. INTERIOR: HINGES, LEVER, LOCKSET, KICK PLATE. CLASSROOM FUNCTION.

Bid and Permit Set

City of Lowell

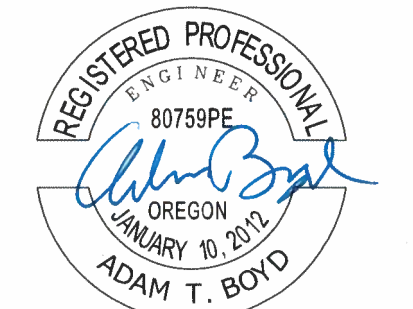
Maggie Osgood Library and City Hall Renovation

Door and Finish Schedules

PROJECT: 21031

CHECKED: CW

DATE: 2/28/2022 REVISIONS:



EXP. 12-31-23

GENERAL NOTES - MECH PLAN

- A. SEE SHEET D111 FOR PLUMBING DEMO NOTES.
- B. SEE SHEET D111 AND D121 FOR MECHANICAL DEMO NOTES AND INFORMATION. THE INTENT IS TO REMOVE ALL EXISTING DUCTWORK TO FACILITY NEW DUCTWORK LAYOUT AS SHOWN HERE.
- C. REUSE ALL AVAILABLE SALVAGE SUPPLY AND RETURN GRILLE. PROVIDE NEW GRILLES AS NECESSARY BASED ON QUANTITY SHOWN.

KEYNOTES - MECH PLAN

- 1. NEW OUTDOOR UNIT. PROVIDE 9 1/4" THICK CONCRETE PAD WITH #4 HOR O.C. E.A. PAD TO BE 8" MIN. BEYOND EDGE OF HVAC UNIT IN ALL DIRECTIONS. SET TOP OF PAD 6" ABOVE EXST GRADE.
- 2. EXST HVAC UNIT. PROTECT.
- 3. NEW SUPPLY DUCTING.
- 4. NEW RETURN DUCTING.
- 5. 6" EXHAUST UP TO ROOF WITH RAIN CAP.

MECHANICAL LEGEND

- HVAC GRILLE - SUPPLE - NEW OR RELOCATED
- HVAC GRILLE - SUPPLE - TO REMAIN
- HVAC GRILLE - SUPPLE - DEMO OR TO BE RELOCATED
- HVAC GRILLE - RETURN - NEW OR RELOCATED
- HVAC GRILLE - RETURN - TO REMAIN
- HVAC GRILLE - RETURN - DEMO OR TO BE RELOCATED
- EXHAUST FAN

- DUCT - SUPPLY - NEW
- DUCT - RETURN - NEW
- DUCT - SUPPLY - DEMO
- DUCT - RETURN - DEMO

Bid and Permit Set

City of Lowell
Maggie Osgood Library and
City Hall Renovation

Mech Plan

PROJECT: 21031

CHECKED: AB

DATE: 2/26/2022 REVISIONS:

M101

SCOPE OF WORK - MECHANICAL

Existing Conditions
2 units located in a mechanical yard on the east side of the facility. Both units are single package heat pumps with electric supplemental heat.

Unit # 1 (AHU-1)

Installed in 2017

- Trane Model 4WCC4060A
- 5 Ton capacity (58,000 Btuh at rated conditions)/15 kW supplemental heat
- 12.0 EER
- No economizer and no visible ventilation air.
- Approximately 2000 Cfm supply air flow capacity (varies on setting and pressure)
- Wall mounted thermostat control

Unit # 2 (AHU-2)

- Date of installation unknown
- Manufacturer unknown
- Assumed to be 4 Ton nominal unit based on documents found on site.
- No economizer and no visible ventilation air.
- Approximately 2000 Cfm supply air flow capacity (varies on setting and pressure)
- Wall mounted thermostat control

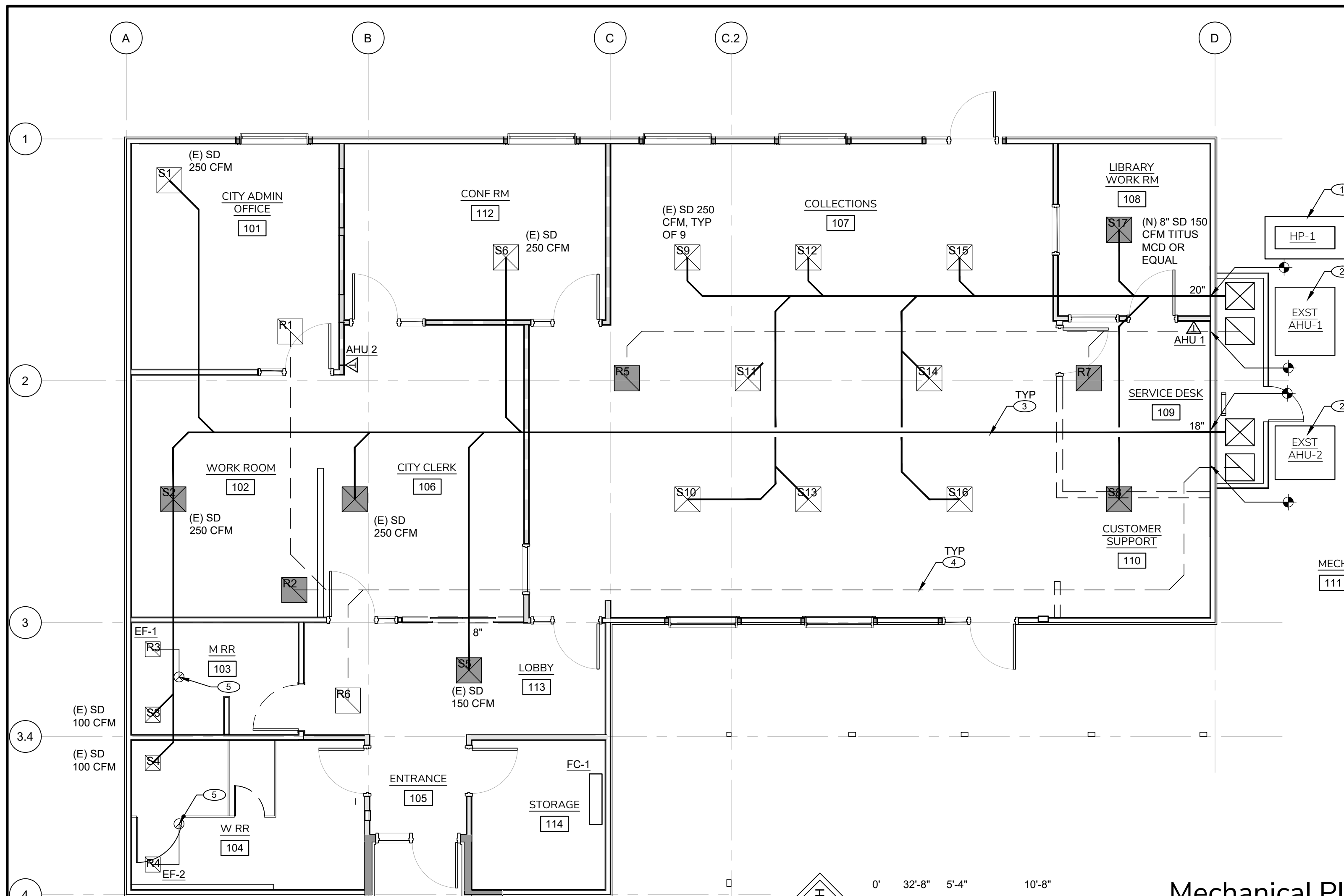
Air Distribution

The air distribution system consists of supply and return ducts installed in the attic space. Both units have supply drops into the main meeting space. Based on air distribution plans on site, Unit #1 also serves the offices and reception space. Ducts construction is primarily flex duct.

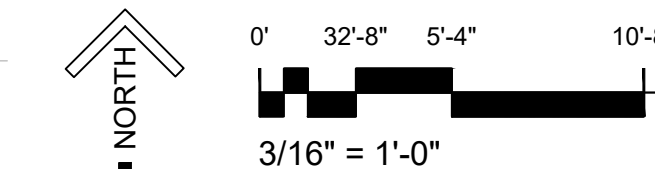
Restroom Exhaust

There is an existing exhaust fan located in the attic which exhausts both restrooms. Site inspection indicates there is no exterior exhaust for this fan, and therefore is exhausting directly into the attic space. Exhausting directly into the attic does not meet current code requirements.

- Scope of Work**
Existing HVAC units AHU-1 and AHU-2 are to remain and be reused. Provide system modifications as follows:
1. Demolish existing ductwork from supply and return duct connections at exterior wall to diffusers/grilles.
 2. Provide new ductwork and diffuser layout as shown in HVAC floor plan. Ducts route in attic space. Reuse existing diffusers, relocated diffusers where indicated on drawings. Size ducts for maximum 0.08 inWG/100 ft pressure drop.
 3. Provide rigid round ductwork construction using galvanized sheet metal.
 4. Provide minimum R-12 exterior duct insulation in compliance with 2019 Oregon Energy Efficiency Specialty Code.
 5. Provide volume dampers at each branch to diffusers for system balancing. Balance system to airflow as shown on drawings.
 6. Provide 7-day programmable thermostats in locations shown on drawings. Program occupancy schedule in coordination with owner. Initial set points:
Occupied: Heating 70 deg F, Cooling 75 deg F
Unoccupied: Heating 60 deg F, Cooling 85 deg F
 7. Provide new ductless split system heat pump to serve new Storage/IT closet.
 - 8.



Mechanical Plan 1
First Floor



EXHAUST FANS

| MARK | SERVING | CFM | ESP | SONES | MOTOR | | FAN RPM | WT LBS | MAKE & MODEL | NOTES |
|------|----------------|-----|------|-------|-------|-------|---------|--------|-------------------|-------|
| | | | | | V/PH | WATTS | | | | |
| EF-1 | RESTROOM MEN | 140 | 0.15 | 2 | 115/1 | 128 | 950 | 11 | GREENHECK SP-B150 | 1 |
| EF-2 | RESTROOM WOMEN | 140 | 0.15 | 2 | 115/1 | 128 | 950 | 11 | GREENHECK SP-B150 | 1 |

NOTES:

1. WALL MOUNT MOTION SENSOR ACTIVATION SWITCH WITH ADJUSTABLE TIME DELAY SET TO 15 MINUTES.

SPLIT SYSTEM HEAT PUMPS

| MARK | SERVING | COOL MBH | | HEAT MBH | TONS | CFM | ESP | W | V/PH | UNIT MCA/MOCP | | WT LBS | SEER | HSPF | MAKE & MODEL | NOTES |
|------|-------------------|----------|----|----------|------|------|-----|----|-------|---------------|----|--------|------|------|------------------------|-------|
| | | TC | SC | | | | | | | | | | | | | |
| HP-1 | STORAGE/IT CLOSET | 12 | 9 | 14 | 1 | 1590 | - | 46 | 208/1 | 11 | 28 | 93 | 21 | 10.2 | MITSUBISHI PUZ-A12NKA7 | 1,2,4 |
| FC-1 | STORAGE/IT CLOSET | | | | 1 | 385 | - | 30 | 208/1 | 1.0 | - | 28 | 21 | 10.2 | MITSUBISHI PKA-A12LA | 1,3 |

NOTES:

1. MAY PROVIDE EQUIVALENT EQUIPMENT FROM CARRIER, JCI-YORK, LENNOX, TRANE.
2. SIZE AND INSTALL REFRIGERANT LINES PER MANUFACTURER'S RECOMMENDATIONS, VERIFY FINAL PIPE LENGTHS MEET EQUIPMENT REQUIREMENTS.
3. PROVIDE PROGRAMMABLE THERMOSTAT & DRAIN PAN WITH CONDENSATE PUMP (IF NECESSARY). POWER INDOOR UNIT FROM OUTDOOR UNIT.
4. PROVIDE CONCRETE HOUSEKEEPING PAD.



GENERAL NOTES - ELEC PLAN

- A. SEE SHEET D111 AND D121 FOR DEMOLITION RELATED WORK AND INFORMATION.
- B. SEE SHEET A121 FOR LIGHT FIXTURE LAYOUT AND RELATED INFORMATION.

KEYNOTES - ELECTRICAL PLAN

- EXISTING ELECTRICAL PANEL TO REMAIN. ADD CIRCUIT BREAKERS AS NOTED IN PANEL SCHEDULE.
- NEW FLUSH MOUNTED, 4 CIRCUIT RELAY PANEL. SEE RELAY PANEL SCHEDULE.
- RUN 1/2" NETWORK FACEPLATE CONDUIT AND ELECTRICAL BRANCH CIRCUIT MC CABLE CONCEALED IN EXTERIOR WALL AND TRANSITION TO FREESTANDING WORK STATION TO FEED OUTLETS MOUNTED IN WORK STATION FURNITURE.
- NUMBER AT RECEPTACLES DESIGNATES CIRCUIT NUMBER ON EXISTING BRANCH CIRCUIT PANELBOARD.
- MOUNT DUPLEX OUTLETS AT +36" AND +72" AT NETWORK EQUIPMENT RACK LOCATION.
- PROVIDE FOUR SQUARE BOX AT DOOR OPERATOR PUSHPAD LOCATION RUN 3/4" CONDUIT FROM THIS BOX TO JUNCTION BOX ABOVE STORAGE ROOM CEILING.
- PROVIDE 120 VOLT CONNECTION TO DOOR OPERATOR. RUN 1/2" CONTROL CONDUIT TO JUNCTION BOX REFERENCED IN NOTE 6.
- PROVIDE FOUR SQUARE BOX AT KEYPAD LOCATION RUN 3/4" CONDUIT FROM THIS BOX TO STORAGE ROOM SECURITY PANEL LOCATION.
- PROVIDE 120 VOLT CONNECTION TO SECURITY SYSTEM PANEL.
- INSTALL NEW METER BASE AND WEATHERHEAD PER ONE LINE DIAGRAM. RECONNECT PANEL A SERVICE CONDUCTORS AND RUN NEW FEEDER CONDUCTORS TO EXISTING ENCLOSED CIRCUIT BREAKER.
- CONNECT EXHAUST FAN TO SWITCHED LIGHTING CIRCUIT.
- RUN 2 #12 CONDUCTOR, #12 GROUND IN 1/2" CONDUIT BETWEEN FAN COIL UNIT AND OUTDOOR HEAT PUMP.
- CONNECT NEW HEAT PUMP TO NEW BREAKER IN PANEL A, CIRCUIT 35.37.

SCOPE OF WORK - ELEC DISTRIBUTION SYSTEM

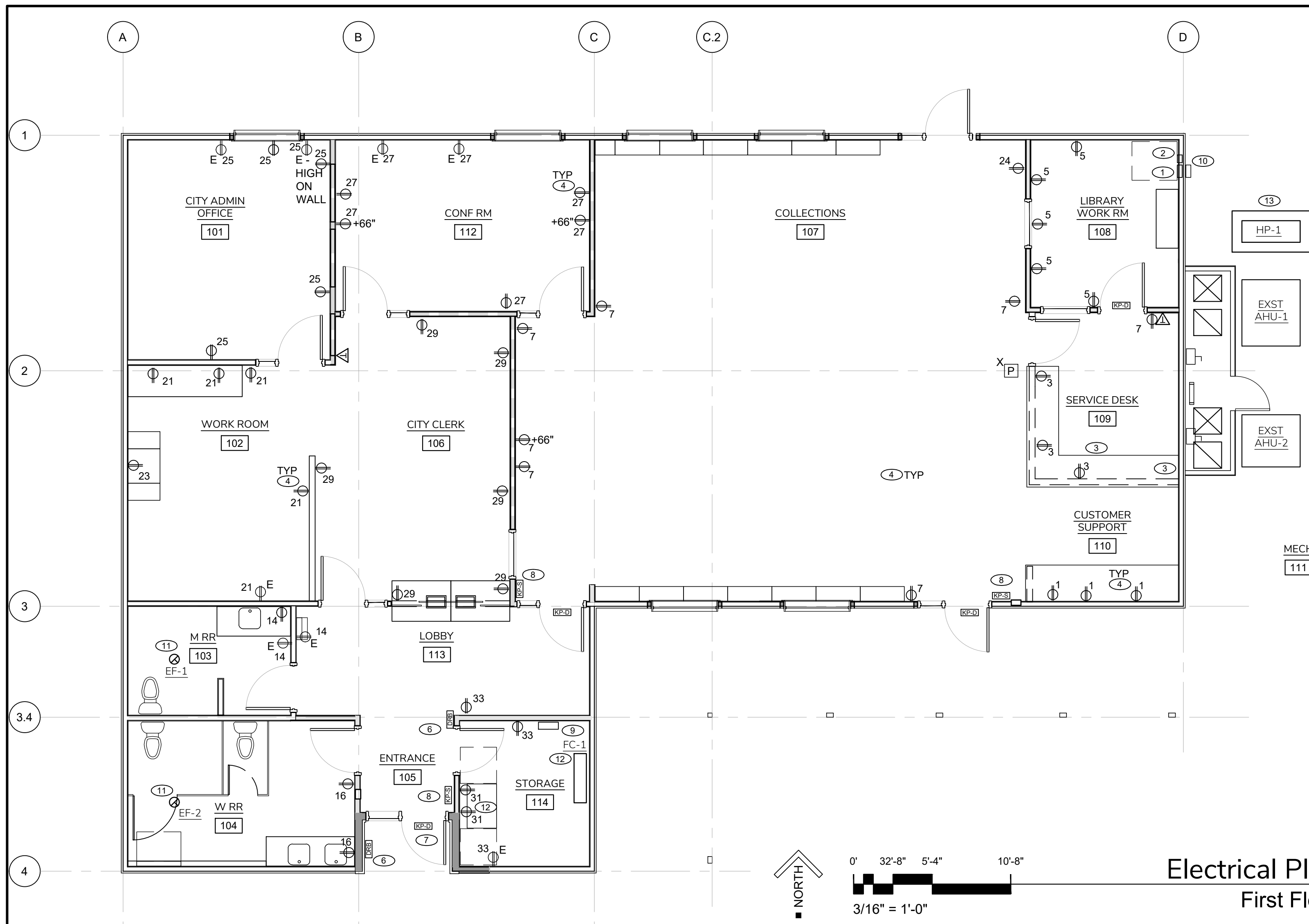
Existing Condition
A 200 amp overhead service provides power to the building from a pole mounted transformer at the northeast corner of the building. Service voltage is 120/240 volt. Serving utility is Lane Electric Cooperative. The building is served by a 200 amp main breaker, 42 circuit panelboard. The panel is manufactured by Square D with 18 spaces available for future breakers. A 150 amp breaker, serving one of the outdoor air conditioners is located adjacent to the service panel and is tapped from the service panel bus.

Scope of Work
A new electrical service to 400 amp meter base will be provided. The existing service panel will be reused. Existing HVAC equipment and associated electrical branch circuits will be reused. The 150 amp enclosed circuit breaker will be refed from the new meter base. Existing lighting circuits will be rerouted to new light fixture locations. Similarly, existing receptacle branch circuits will be rerouted to new receptacle locations. Provide new branch circuits as noted on panel schedule and Architectural electrical floor plan.

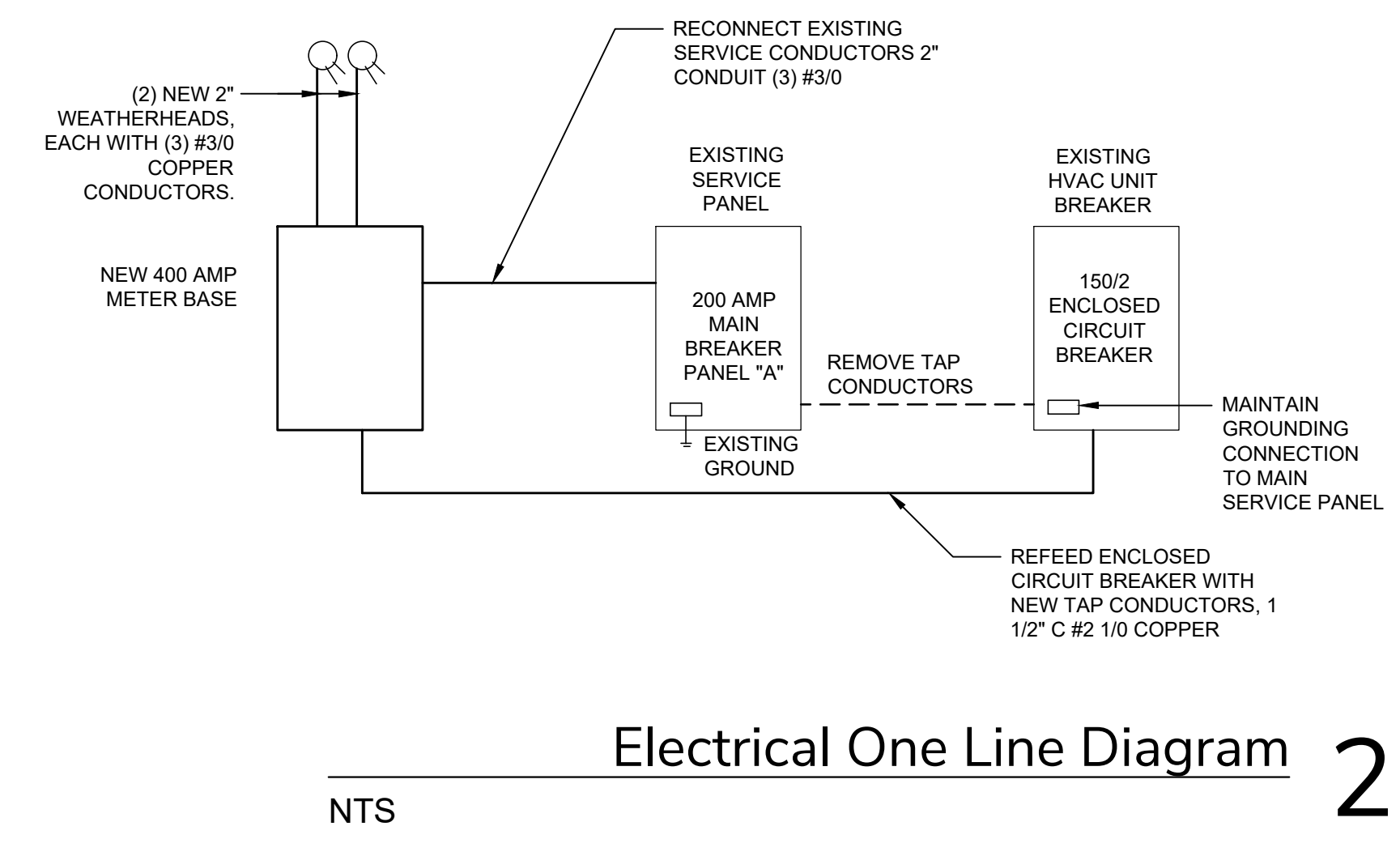
Additional Requirement

- The electrical one line diagram and Panel schedule, Drawing E101, summarizes branch circuit requirements and provides electrical load information.
- Drawing E101 shows electrical panelboard and device locations and identifies electrical branch circuit information.
- Architectural reflected ceiling plan A121 shows light fixture and lighting control device locations.

- Specification section 26 0526 describes grounding system requirements.
- Specification section 26 2726 describes requirements at new and existing electrical receptacles, and switches.
- Specification section 26 0553 describes electrical system identification requirements.
- Specification section 26 0533 describes electrical raceway and junction box requirements.
- Specification section 26 0544 describes fire-rated sleeves and sealing requirements.
- Specification section 26 0519 describes electrical conductor requirements.
- Lighting control matrix, Drawing E101, indicates lighting control devices to be provided in each building area.
- The light fixture schedule and relay panel schedule on E100 describe light fixture revisions.
- Demolition plan D111 shows walls that will be removed and remain in place and describes the electrical demolition work.
- Demolition plan D121 show ceilings, speakers and light fixtures that will be removed and remain in place.



Electrical Plan 1
First Floor



Electrical One Line Diagram 2

LOWELL LIBRARY RELAY PANEL Flush Mounted in Existing Wall

| Relay # | Zone Description | Circuit | Control Description | Notes |
|---------|-----------------------|---------|---|-------------------------|
| 1 | Library Area Lighting | A-11 | Sweep off with signal from security panel | 30 amp, 120 volt Relays |
| 2 | Entry Lobby Lighting | A-13 | Sweep off with signal from security panel | 30 amp, 120 volt Relays |
| 3 | Parking Lot Lighting | A-2 | | 30 amp, 120 volt Relays |
| 4 | Parking Lot Lighting | A-4 | | 30 amp, 120 volt Relays |

Relay Panel Schedule 4

EXISTING PANEL A

120/240V, 1Ph, 3W.; 100A Bus with Main Lug Only Recessed Load Center AIC Rating is Less than 10,000 Amps

| NOTE | CIRCUIT DESCRIPTION | CONN LOAD (VA) | LOAD TYPE | CIRCUIT BREAKER A/POLE | PH. | CIRCUIT BREAKER CKT. | LOAD TYPE | CONN LOAD (VA) | CIRCUIT DESCRIPTION | NOTE | | | |
|-----------------------|------------------------------|----------------|-----------|------------------------|-----|----------------------|-----------------------|----------------|------------------------|------------------------------------|-------|------|------|
| 2 | Customer Support Receptacles | 540 | R | 20/1 | 1 | A | 2 | 30/2 | L | 800 Existing Parking Lot Lighting | 4 | | |
| 2 | Service Desk Receptacles | 720 | R | 20/1 | 3 | B | 4 | | L | 800 | 4 | | |
| 2 | Work Room Receptacles | 1,080 | R | 20/1 | 5 | A | 6 | 60/2 | | Spare | 1 | | |
| 2 | Library Area Receptacles | 720 | R | 20/1 | 7 | B | 8 | | | Spare | 1 | | |
| 1 | Existing Water Heater | 1,000 | WH | 20/1 | 9 | A | 10 | 60/2 | | Spare | 1 | | |
| 4 | Lighting Circuit Library | 740 | L | 20/1 | 11 | B | 12 | | | | 1 | | |
| 4 | Lighting Circuit Entry | 740 | L | 20/1 | 13 | A | 14 | 20/1 | R | 360 Existing Rest Room outlets | 1 | | |
| 3 | Lighting Circuit City Hall | 740 | L | 20/1 | 15 | B | 16 | 20/1 | R | 360 Existing Rest Room outlets | 1 | | |
| 3 | Lighting Circuit City Hall | 740 | L | 20/1 | 17 | A | 18 | 20/1 | R | Spare | 2 | | |
| 2 | Relay Panel Control | 180 | G | 15/1 | 19 | B | 20 | 125/2 | H | 9,000 Existing HVAC Unit | 1 | | |
| 5 | Copy Machine Receptacles | 180 | R | (N) 20/1 | 21 | A | 22 | | H | 9,000 | 1 | | |
| 5 | Work Room Receptacles | 1,080 | R | (N) 20/1 | 23 | B | 24 | 20/1 | R | 180 Was Projector Now Copy Machine | 2 | | |
| 5 | Admin Office Receptacles | 900 | R | (N) 20/1 | 25 | A | 26 | | | SPACE | | | |
| 5 | Conference Room Recept. | 1,260 | R | (N) 20/1 | 27 | B | 28 | | | SPACE | | | |
| 5 | City Clerk Receptacles | 1,080 | R | (N) 20/1 | 29 | A | 30 | | | SPACE | | | |
| 5 | IT Rack | 969 | R | (N) 20/1 | 31 | B | 32 | | | SPACE | | | |
| 5 | Entry / Storage Receptacles | 720 | R | (N) 20/1 | 33 | A | 34 | | | SPACE | | | |
| 5 | Split System AC Unit | 1,320 | LM | (N) 20/2 | 35 | B | 36 | | | SPACE | | | |
| 5 | SPACE | 1,320 | LM | | 37 | A | 38 | | | SPACE | | | |
| | SPACE | | | | 39 | B | 40 | | | SPACE | | | |
| | SPACE | | | | 41 | A | 42 | | | SPACE | | | |
| TOTAL CONNECTED LOAD: | | Ph. A | 18,460 | VA | 154 | AMPS | PANEL CONNECTED LOAD: | | 36.0 | KVA | 149.9 | Amps | |
| | | | | | | | | | 150/2 SUBFED HVAC HEAT | 18.6 | KVA | 77.5 | Amps |
| TOTAL CONNECTED LOAD: | | Ph. C | 17,469 | VA | 146 | AMPS | TOTAL SERVICE LOAD | | 54.6 | KVA | 227.4 | Amps | |

NOTES:

- No Change to this circuit
- Reroute existing branch circuit to new and existing outlets
- Reroute existing lighting circuit to new and existing light fixtures
- Reroute existing lighting circuit conductors through new relay panel
- Provide new breaker for City Hall Receptacle Load

NOTE: UNDER RENOVATION PROJECT THE AC HEATING BREAKER IS BEING RECONFIGURED AND TAPPED AHEAD OF 200 AMP MAIN CIRCUIT BREAKER.

| Load Type | Load Description | Connected Loads | Subfed Loads (S) | Total Loads | Dem and Factor | Dem and Load |
|---------------|--------------------------|-----------------|------------------|-------------|----------------|--------------------|
| G | General (Non-Continuous) | 0.18 | 0.00 | 0.18 | 100% | 0.18 (KVA Typical) |
| L | Lighting | 2.96 | 0.00 | 2.96 | 125% | 3.70 |
| R | Receptacles - to 10 KVA | 9.55 | 0.00 | 9.55 | 100% | 9.55 |
| | over 10 KVA | 0.00 | 0.00 | 0.00 | 50% | 0.00 |
| K | Kitchen | 0.00 | 0.00 | 0.00 | 100% | 0.00 |
| H | Heating | 18.00 | 0.00 | 18.00 | 100% | 18.00 |
| M | Motors | 0.00 | 0.00 | 0.00 | 0% | 0.00 |
| LM | Largest Motor | 2.64 | 0.00 | 2.64 | 125% | 3.30 |
| WH | Water Heater | 1.00 | 0.00 | 1.00 | 125% | 1.25 |
| C | Continuous General Load | 0.00 | 0.00 | 0.00 | 125% | 0.00 |
| Total: | | | | | | 35.98 KVA |

Panel A 3

LUMINAIRE SCHEDULE

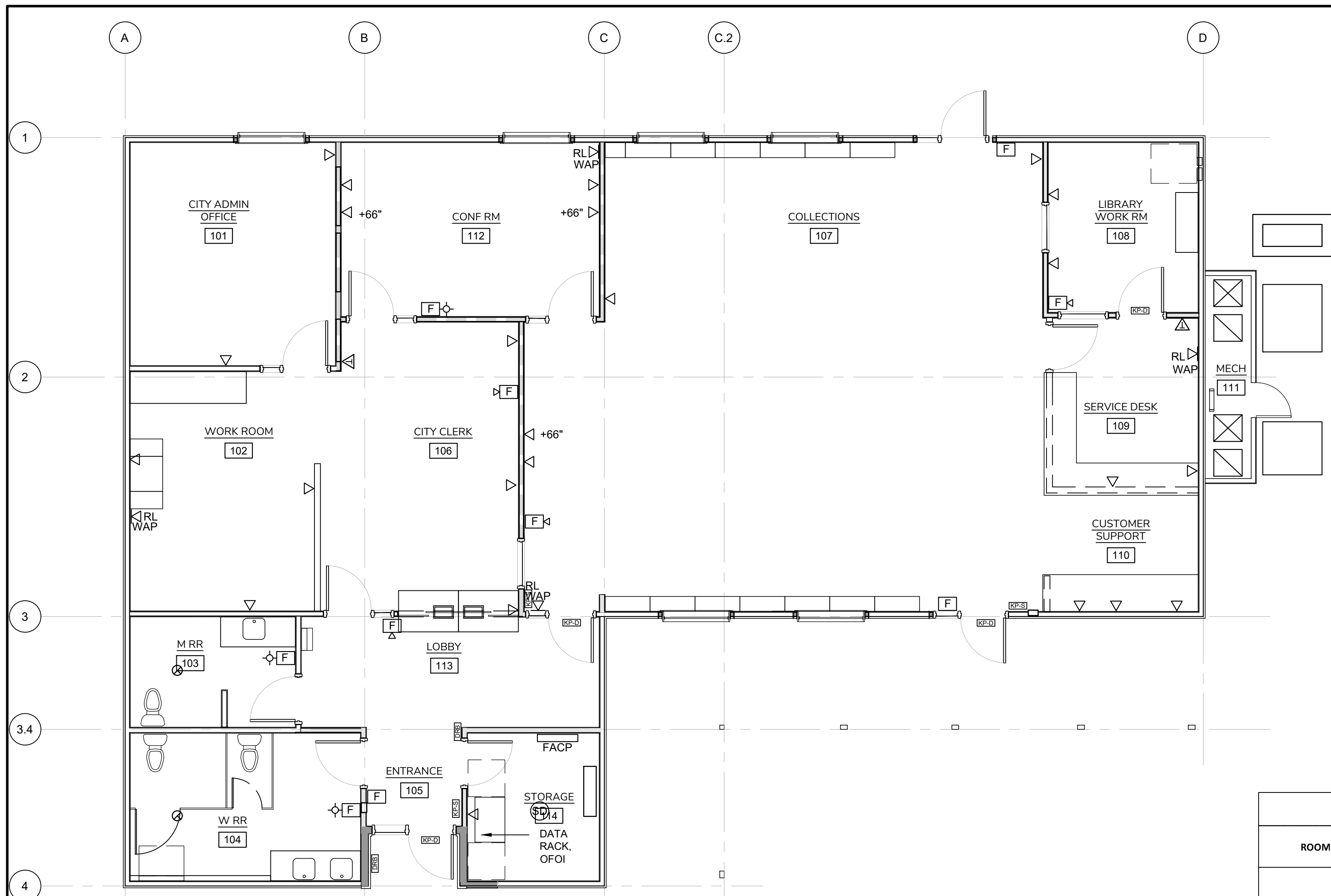
| FIXTURE DESIGNATION | DESCRIPTION | NUMBER OF | LAMP WATTS | LUMINAIRE WATTS | CCT | LUMEN OUTPUT | LAMP SOURCE | LAMP TYPE | DRIVER | VOL. TRG. | MOUNTING | MANUFACTURER | CATALOG NUMBER | COMMENTS |
|---------------------|--|-----------|------------|-----------------|-------|--------------|-------------|-------------|------------------|-----------|----------|-----------------------------------|----------------|---|
| A | EXISTING 4 LAMP 2' X 4' FLUORESCENT TROFFER WITH TL LAMPS AND ELECTRONIC BALLAST AND ACRYLIC LENS | 4 | 32 | 128 | 3500K | 2850 | TYPICAL T8 | FLUORESCENT | 9-15VDC DIMMABLE | 120 | RECESSED | EXISTING | | CLEAN AND RETROFIT EXISTING FIXTURE WITH TYPICAL LED LAMPS AND DRIVER |
| A2 | EXISTING 4 LAMP 2' X 4' FLUORESCENT TROFFER WITH TL LAMPS AND ELECTRONIC BALLAST AND PARACUBE LENS | 4 | 32 | 128 | 3500K | 2850 | TYPICAL T8 | FLUORESCENT | 9-15VDC DIMMABLE | 120 | RECESSED | EXISTING | | CLEAN AND RETROFIT EXISTING FIXTURE WITH TYPICAL LED LAMPS AND DRIVER |
| B | 2' X 4' LED TROFFER, 4100 LUMENS | - | - | 32 | 3500K | 3900 | LED | LED | INTEGRAL DRIVER | 120 | RECESSED | LITHONIA DALLAS XLLET LFP35 | | CONTROL WITH COMPATIBLE DIMMER |
| C | 2' X 2' LED TROFFER, 2800 LUMENS | - | - | 18 | 3500K | 2200 | LED | LED | INTEGRAL DRIVER | 120 | RECESSED | LITHONIA DALLAS XLLET LFP35 | | CONTROL WITH COMPATIBLE DIMMER |
| E | EXISTING LED EXIT SIGN WITH BATTERY BACKUP AND TURN HEAD EMERGENCY LAMPS | - | - | 5 | - | - | LED | - | INTEGRAL DRIVER | 120 | SURFACE | EXISTING | | RELOCATE EXISTING TO LOCATION SHOWN |
| D | LED DOWNLIGHT | - | - | 18 | 3500K | 2500 | LED | LED | INTEGRAL DRIVER | 120 | RECESSED | LITHONIA 4 BEM WYLED 35K 30 CRIME | | CONTROL WITH COMPATIBLE DIMMER |
| F | EXISTING 4 LAMP 2' X 4' FLUORESCENT TROFFER WITH TL LAMPS AND ELECTRONIC BALLAST | 4 | 32 | 128 | 3500K | 2850 | FLUORESCENT | T8 | ELECTRONIC | 120 | RECESSED | EXISTING | | CLEAN AND RELAMP EXISTING FIXTURE |

Luminaire Schedule 5

MISC ELECTRICAL SYMBOLS

- LIGHTING CONTROL
- WALL-MOUNTED DIMMER SWITCH
- EXISTING SWITCH
- DEMO SWITCH
- LOW VOLTAGE SWITCH STATION
- SINGLE ZONE DAYLIGHT SWITCH
- WALL-MOUNTED OCCUPANCY SENSOR
- WALL-MOUNTED OCCUPANCY SENSOR WITH DIMMER SWITCH
- CEILING-MOUNTED OCCUPANCY SENSOR
- POWER
- NEW POWER RECEPTACLE
- EXST POWER RECEPTACLE
- DEMO POWER RECEPTACLE

Bid and Permit Set
City of Lowell
Maggie Osgood Library and City Hall Renovation



Data and Fire Alarm Pln 1
First Floor

SCOPE OF WORK - LOW VOLTAGE SYSTEMS

Existing Condition
 A public address system consisting of ceiling speakers and hearing assist stations are located throughout the building. Microphone input jacks are located at various locations around the building.

Network presence is minimal in the building with three wireless access point providing network access. A Spectrum internet service is installed to the building from the service pole at the northeast corner of the building. Telephone service also enters the building at this location. A limited amount of network equipment is located in the northeast storage room above the electrical panel and A/C circuit breaker.

Scope of Work
 Installation of fire alarm equipment and a structured wiring system is included as a bid alternate. Provide rough in for security keypad system, and security video system to be provided under a separate contract. Under the base bid of the current project provide power at the network equipment rack location. a communication system ground bus as well as pathways for low voltage system wiring.

- Additional Requirement**
1. Drawings E101 and E102 shows low voltage device locations.
 2. Architectural reflected ceiling plan A121 shows ceiling mounted device locations.
 3. Specification section 26 0526 describes grounding system requirements.
 4. Specification section 27 0578 describes rough in and raceway requirements for low voltage systems. Network equipment rack requirements are also described in this section.
 5. Specification section 26 0553 describes electrical system identification requirements.
 6. Specification section 26 0533 describes electrical raceway and junction box requirements.
 7. Specification section 26 0544 describes fire-rated sleeves and sealing requirements.
 8. Demolition plan D111 shows walls that will be removed and remain in place.



GENERAL NOTES - DATA, FIRE ALARM

- A. SEE ALTERNATES FOR DATA. UNDER BASE BID PROVIDE ROUGH IN FOR FIRE ALARM DEVICES. UNDER ALTERNATE BIDS PROVIDE COMPLETE FIRE ALARM SYSTEM PER DRAWINGS AND SPECIFICATIONS.
- B. SEE ALTERNATES FOR FIRE ALARM. UNDER BASE BID PROVIDE ROUGH IN FOR NETWORK STRUCTURE WIRING SYSTEM DEVICES. UNDER ALTERNATE BIDS PROVIDE COMPLETE STRUCTURED WIRING SYSTEM PER DRAWINGS AND SPECIFICATIONS.
- C. SEE SHEET D111 FOR ADDITIONAL INFORMATION RELATED TO THE EXISTING DATA AND COMMUNICATION SYSTEM AND COMPONENTS.

LIGHTING CONTROL MATRIX: SPACE BY SPACE

| ROOM NAME | TYPE OF CONTROLS | CONTROL FUNCTIONS | PRODUCT BASIS OF DESIGN |
|--|--|--|---|
| LIBRARY COMMON AREA | MANUAL ON / OFF SWEEP OFF WHEN SECURITY SYSTEM IS ARMED PROVIDE ONE ZONE DAYLIGHT CONTROL | CONTROL THROUGH RELAY PANEL PROVIDE ON OFF LOW VOLTAGE ENTRY STATIONS. DRY CONTACT INTERFACE WITH SECURITY SYSTEM. PROVIDE DAYLIGHT SENSOR FOR HIGH END TRIM | WATTSTOPPER, ACUITY, HUBBELL |
| LIBRARY WORK ROOM, CONFERENCE ROOM, AND OFFICE | LINE VOLTAGE CONTROLS | ON / OFF / DIM AT ENTRY TO SPACE USING LINE VOLTAGE CONTROLS OFF WITH OCCUPANCY SENSOR | WATTSTOPPER, ACUITY, HUBBELL |
| RESTROOMS | LINE VOLTAGE CONTROLS | OCCUPANCY SENSOR ON AND OFF | WATTSTOPPER, ACUITY, HUBBELL |
| LOBBY | MANUAL ON / OFF SWEEP OFF WHEN SECURITY SYSTEM IS ARMED | CONTROL THROUGH RELAY PANEL PROVIDE ON OFF LOW VOLTAGE ENTRY STATIONS. DRY CONTACT INTERFACE WITH SECURITY SYSTEM | WATTSTOPPER, ACUITY, HUBBELL |
| STORAGE ROOM | LINE VOLTAGE CONTROLS | ON / OFF AT ENTRY TO SPACE USING LINE VOLTAGE CONTROLS WITH OCCUPANCY SENSOR | WATTSTOPPER, ACUITY, HUBBELL |
| OUTDOOR LIGHTING | PHOTOCELL ON AND OFF | CONTROL EXISTING EXTERIOR LIGHTING CIRCUITS WITH NEW RELAY PANEL | WATTSTOPPER, ACUITY, HUBBELL |
| EMERGENCY EGRESS LIGHTING | 924 RELAY INTEGRAL WITH BATTERY BACKED EXIT SIGN / EMERGENCY LIGHT COMBO UNITS | EMERGENCY LIGHT COME ON AUTOMATICALLY WITH LOSS OF NORMAL POWER | REUSE EXISTING UNIT EQUIPMENT. SUPPLEMENT AS NEEDED |
| CITY HALL WORK AREA | MANUAL ON / OFF SWEEP OFF WITH OCCUPANCY SENSOR ONE ZONE DAYLIGHT CONTROL | PROVIDE DAYLIGHT SENSOR FOR HIGH END TRIM PROVIDE ON OFF LOW VOLTAGE ENTRY STATIONS. DRY CONTACT INTERFACE WITH SECURITY SYSTEM | WATTSTOPPER, ACUITY, HUBBELL |

NOTES:

1. PROVIDE QUANTITY OF POWER PACKS AND OTHER LIGHTING CONTROL ACCESSORIES REQUIRED FOR FUNCTIONALITY DESCRIBED.

DATA, COMM, AND FIRE ALARM LEGEND

- COMMUNICATION AND DATA**
- DATA PORT
 - EXST WIRE ACCESS PORT, RELOCATE
- FIRE ALARM**
- FIRE ALARM HORN
 - FIRE ALARM CONTROL PANEL
 - FIRE ALARM STROBE
 - SMOKE DETECTOR
 - FIRE ALARM MANUAL PULL STATION

Bid and Permit Set
 City of Lowell
Maggie Osgood Library and
City Hall Renovation